

**MONTGOMERY**  
COUNTY, VIRGINIA

# Rezoning Application Form

## Rezoning, Conditional Zoning, Proffer Amendment

### Montgomery County, Virginia

755 Roanoke St. Suite 2A, Christiansburg, VA 24073  
540-394-2148 | [mcplan@montgomerycountyva.gov](mailto:mcplan@montgomerycountyva.gov)

**Application Request:** (Please check one)  Conditional Rezoning  Rezoning  Amend Proffers

**Applicant Information:** (PLEASE PRINT – if additional owners, please attach additional sheets)

Owner of Record (attach separate page for add'l owners): Lisa W. Pendleton and Tina M. Wells	Address: 711 S. Hollywood Drive, Surfside Beach, S.C. 29575
Telephone: 540 353-4837	Email: weezi4@gmail.com

Applicant Name: Owner Contract Purchaser/Lessee Love's Travel Stops, Inc. - Rick Shuffield	Address: 10601 N. Pennsylvania Avenue, Oklahoma City, OK 73120
Telephone: 405-302-6646	Email: rick.shuffield@loves.com

Representative Name and Company: CESO, Inc. - Sara Harville	Address: 175 Montrose West Avenue, Suite 400, Akron, OH 44321
Telephone: 330-396-5151	Email: harville@cesoinc.com

**Property Description:**

Location or Address: (Describe in relation to nearest intersection) 5241 North Fork Road (Southeast corner of the intersection of SR 603 & SR 635)		
Parcel ID Number(s): 015768 (046-A 10) & 015769 (046-A 11)	Acreage: 32.963	Existing Zoning: A-1 Agricultural
Comprehensive Plan Designation: Village Expansion/Mixed Use	Existing Use: Farmland	

**Description of Request:** (Please provide additional information on attached sheet if necessary)

Proposed Zoning (Include Acreage ): GB General Business (32.963 acres)
Proposed Use: Travel Center

I certify that the information supplied on this application and on the attachments provided (maps or other information) is accurate and true to the best of my knowledge. In addition, I hereby grant permission to the agents and employees of Montgomery County and State of Virginia to enter the above property for the purposes of processing and reviewing the above application.

	11-29-2022
Owner 1 Signature	Date

Owner 2 Signature (for add'l owners please attach separate sheet)	Date
---	------

	VP of Real Estate, Love's Travel Stops	11/30/2022
Applicant Signature		Date

	Project Manager, CESO, Inc.	11/4/2022
Representative/Agent Signature		Date



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Owner of Record (attach separate page for add'l owners): Lisa W. Pendleton and Tina M. Wells	Address: PO Box 248, Maggodee Ridge Ln, Boones Mill VA 24065
Telephone: 540-400-4811	Email: tm-wells@msn.com

Applicant Name: Owner Contract Purchaser/Lessee Love's Travel Stops, Inc. - Rick Shuffield	Address: 10601 N. Pennsylvania Avenue, Oklahoma City, OK 73120
Telephone: 405-302-6646	Email: rick.shuffield@loves.com

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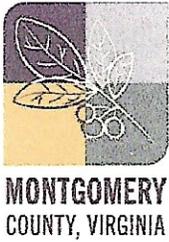
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Owner 2 Signature (for add'l owners please attach separate sheet) 	Date 11/30/2022
Applicant Signature VP of Real Estate, Love's Travel Stops	Date
	11/4/2022
Representative/Agent Signature Project Manager, CESO, Inc.	Date



## Special Use Permit Application Form

Montgomery County, Virginia

755 Roanoke St. Suite 2A, Christiansburg, VA 24073  
540-394-2148 | [mcplan@montgomerycountyva.gov](mailto:mcplan@montgomerycountyva.gov)

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Proposed Use(s) including acreage: Travel Center (32.963 acres)
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	VP of Real Estate, Love's Travel Stops	11/30/2022
Applicant Signature		Date

	Project Manager, CESO, Inc.	11/4/2022
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**MONTGOMERY**  
COUNTY, VIRGINIA

## Special Use Permit Application Form Montgomery County, Virginia

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OFFICES OF COUNTY ATTORNEY  
MONTGOMERY COUNTY

MARTIN M. McMAHON, COUNTY ATTORNEY

755 ROANOKE STREET, SUITE 2F, CHRISTIANSBURG, VIRGINIA 24073-3182

November 1, 2022

Scott A. Butler, Esquire  
Rhodes, Butler and Dellinger, P.C.  
318 Washington Avenue  
Roanoke, Virginia 24016

Re: Lewis Wayne Wells Estate and Sandra Darlene M. Wells Estate  
Montgomery County ID Parcels #015769 and 015768

Dear Mr. Butler:

Thank you for your letter dated October 17, 2022, and your thorough explanation as to why Charles Edward Reese ("Charles") did not have a life estate but a fee simple interest in the property. After reviewing your letter, I agree with your conclusion that Charles in fact had a fee simple interest and not a life estate in the property referenced above as I thought in my first review of this case.

I am copying Helen Royal, Commission of Revenue, for the purpose of asking her to change the ownership for County Parcel ID 015769 and 015768 in the County tax assessment records to Lisa W. Pendleton and Tina M. Wells, as the beneficiaries under Darlene Well's Will.

Any questions or concerns, please do not hesitate to let me know.

Sincerely,

Martin M. McMahon,  
County Attorney

Cc: Helen Royal, Commissioner of Revenue for  
Montgomery County, Virginia

August 17, 2022

### Comprehensive Plan Justification

The proposed Love's Travel Stop & Country Store development is consistent with the Montgomery County Comprehensive Plan because the plan proposes mixed use development within the project area. The Love's Travel Stop embodies this idea by including a variety of services within one location. Not only does it provide fuel for both trucks and passenger cars, but provides showers for truckers, a restaurant, a dog park, RV parking options, a tire care facility for trucks and a truck wash. Furthermore, the Love's is proposed near the intersection of I-81 and SR 603, a heavily trafficked area and one that lacks amenities for the traveling public.

The Love's Travel Stop will conform to the County Comprehensive Plan by meeting the objectives laid out within the plan. Specifically, it conforms to the Plan in the following ways:

- a. Lot Minimums, District Minimums and Availability of Water & Sewer – The proposed Love's development will be approximately 25.4 acres in size, well above the minimum one acre required for a General Business development with access to water and sewer. Per Planning and Land Use Policy (PLU) 1.2.3 of the Comprehensive Plan, future water and sewer extensions will be discouraged in Resource Stewardship Areas such as those surrounding the mixed-use development area that Love's is a part of. Because utilities are available to the proposed property already, no extensions will be required, and future development outside of the mixed-use space will be discouraged.
- b. Criteria for Evaluating Rezoning Applications – The criteria outlined in section PLU 2.1 of the Comprehensive Plan relates to residential rezoning and is not applicable to the project. That said, rezoning the property from its existing designation of A-1 Agricultural to GB General Business is in conformance with the proposed land uses illustrated in the 2025 Comprehensive Plan Policy Map. The project is located near the intersection of several heavily traveled roads, so a travel stop would be beneficial to the area. Furthermore, public utilities are already in place, and the surrounding properties are either already zoned GB – General Business or are anticipated to be part of the mixed-use land use in the future.
- c. Land use Policy Area - As noted above, the mixed-use area proposed as part of the Comprehensive Plan and in which the Love's would be a part is surrounded by land designated as a Resource Stewardship land use policy area. By constructing within an appropriate land use designation for the travel stop, Love's is helping to leave other properties along the I-81 corridor protected from development. The Love's development is best represented by the PLU 1.6, Village Expansion Areas. Although outside of the nearby Village limits, it is a part of the Riner-Shawsville Elliston Commercial Overlay zoning district. The property is served by public water and sewer and is bounded by the I-81 corridor to the west and Pedlar Creek to the south and east. Because the site is within the overlay district, Montgomery County will work with the surrounding villages to guide future development within the district, as outlined in PLU 1.6.1. Furthermore, as is the goal of PLU 1.6.3, the Love's Travel Stop will provide for compatible expansions of residential and employment uses by providing nearby residents with a place to work. Finally, the Love's development has been designed to minimize impacts on the surrounding woods and stream running along the south and east property lines in order

to meet the development goal to preserve critical natural, open space and scenic landscape resources (PUL 1.6.4).

- d. Proposed Transportation Facilities – The proposed Love’s Travel Stop does not propose any new roads. A single access point will be provided off SR 603.
- e. Erosion and Sediment Control – The proposed development will require an erosion and sediment control (E&S) permit, as more than 10,000 SF of land will be disturbed to construct the Love’s. Love’s has minimized impervious areas to the minimum required for development, even though it meant removing some of the originally proposed truck parking spaces in favor of creating a wider buffer for the nearby creek. Furthermore, by choosing a property with access to water and sewer already available, Love’s seeks to conform to section ENV 5.6 of the County Comprehensive Plan. In accordance with section ENV 6.5, existing pre-development stormwater patterns will be maintained. The stormwater system will be developed to meet the state and county stormwater standards for water quality and quantity, and any karst topography found to be present on the site will be avoided.
- f. Subdivisions – The property is not proposed to be part of a subdivision, so the Housing Resources chapter of the County Comprehensive Plan is not applicable.
- g. Education – The proposed Love’s Travel Stop is not a residential development and therefore will not have any effect on the local educational facilities/programs.

The proposed Love’s Travel Stop, therefore, conforms to the Montgomery County Comprehensive Plan, as required by the Rezoning application. The Special Use Permit application considers additional facets of the Comprehensive Plan, including:

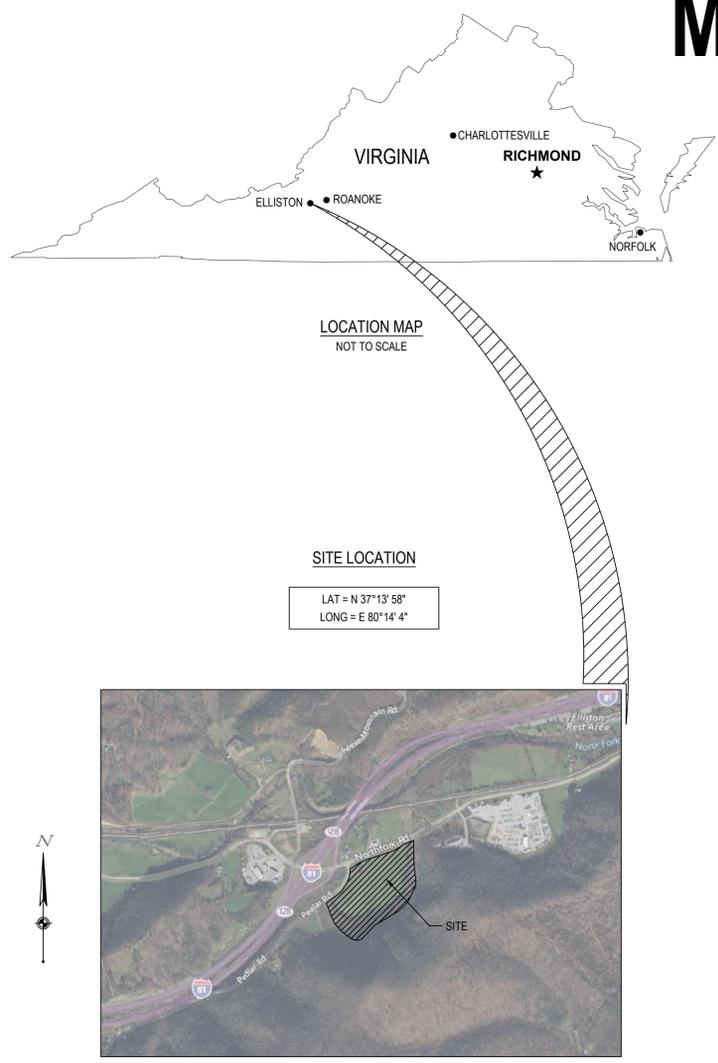
- a. Fire Hazards and Control – The proposed Love’s Travel Stop will meet all state and local requirements for fire protection. The County Comprehensive Plan notes that fire and rescue was the number one public safety issue for participants. Love’s works closely with the local fire department to ensure that all applicable fire codes are being met. Furthermore, they have plans in place at all locations to ensure all employees know how to handle a fire, spill or other issue that might arise.
- b. Noise - Due to its proximity to the highway, Love’s will not increase the overall noise in the area.
- c. Lighting - Love’s uses shielded light fixtures on their property to ensure that, while the site remains well-lit for safety and security purposes, the light does not bleed on to the neighboring properties.
- d. Odor – Love’s does not anticipate increasing the overall odor in the area, given the proximity to the highway and existing businesses and the odors they might generate.
- e. Signage - Love’s proposes to include one hi-rise sign as well as a street sign, building and canopy signage and directional signage on the property. The hi-rise sign is necessary to ensure that customers see the Love’s from a far enough distance on the highway to slow down and exit without causing an accident. Furthermore, the hi-rise sign is consistent with what one might see at other areas of development near a highway. The signs will conform to the county’s signage code, or a variance will be requested.
- f. Landscaping – A landscape plan will be prepared in accordance with the requirements outlined in the county’s zoning code. Sufficient landscaping will be provided to maintain buffers from the surrounding properties and areas of storage and utilities will be screened with landscaping and/or fencing. Furthermore, the existing forest along Pedlar Creek will be maintained to the extent possible.
- g. Project Phasing – The proposed Love’s Travel Stop project will be constructed all at one time.

- h. Natural, Archeological and Historic Preservation – The Love’s Travel Stop will maintain the existing stream undisturbed located along the east and south property line. Furthermore, the development will include a stream buffer to further maintain the existing conditions of the stream. The woods encompassing the stream will be maintained to the extent possible while ensuring that the Love’s parking and access areas are sufficiently large to allow for safe and easy movement of cars and trucks. There are no known archeological or historic features on the property.
- i. Public Welfare & Convenience – One of the main goals of the Love’s Travel Stop development is to increase the convenience of the public, particularly the traveling public, by providing a place to rest, eat and fuel. Love’s provides a number of amenities to serve travelers and truckers to the best of their abilities and is continually seeking new ways to better serve their customers.
- j. Traffic – a Traffic Impact Study will be prepared for review and approval by both VDOT and Montgomery County to ensure that the existing roads are adequate to handle the anticipated traffic generated by the development, that any improvements necessary to the surrounding roads are designed and constructed in accordance with state and local standards and that the proposed driveway for the Love’s Travel Stop can adequately handle the variety of vehicles anticipated at this location. Love’s understands that SR 603 is an emergency bypass for I-81 and will ensure that it does not adversely affect traffic flow along this route.
- k. Groundwater Supply – The Love’s Travel Stop is not anticipated to affect the existing groundwater supply, as it will be serviced by the existing public water system.
- l. Soils – The Love’s site will be constructed in accordance with the earthwork recommendations outlined in the Geotechnical Report to ensure that no adverse effects on the soil are created.
- m. Environmentally Sensitive Features – As outlined above, Love’s will take care to protect the existing stream by not disturbing it during construction. A proposed buffer will be provided between the development and the stream, with the existing vegetation remaining undisturbed to the extent possible. Given the proximity to the highway, no endangered species are anticipated to be present in this area. Similarly, no increased impacts on water or air quality are anticipated from the construction of the Love’s Travel Stop.
- n. Economy – Love’s will hire local employees to work at this development, generating 40-50 new jobs for the area, and hopefully encouraging additional development along the SR 603 corridor. Additionally, Love’s will generate increased tax revenue for the county, further helping to spur economic growth in the area.
- o. Floodplain – The proposed development is partially located within the floodplain of Pedlar Creek. Therefore, all buildings have been designed to be outside of the floodplain limits and will have finished floor elevations at least one foot above the flood elevation. Additionally, any effects of fill placed within the floodplain will be mitigated by providing compensatory storage, and a flood study will be conducted to ensure that the development will not contribute to a rise in the floodplain elevation anywhere within the county. This study will be submitted to Montgomery County for approval.
- p. Steep slopes – The west side of the property includes an area of steep slope, which will be avoided when possible. If not possible, erosion protection measures, including erosion control blanket and appropriate seed mixtures, will be employed so as to limit erosion and high rates of stormwater runoff.
- q. Fuel Storage – Fuel will be stored in double-walled underground tanks in conformance with all national, state and local standards. The only above-ground storage tank will be for propane. This too will be designed in accordance with national, state and local standards and will require a Love’s employee to operate.

- r. Hours of Operation – Love’s will operate 24 hours a day, seven days a week.
- s. Security – Love’s installs security cameras throughout their property for safety. The parking lots are well-lit, and a security fence is installed around the perimeter of the truck parking area to prevent trespassing as well as capture any trash that might otherwise blow off the property. Furthermore, if a wet stormwater retention pond is to be installed, it will be enclosed with a fence to prevent animals and people from entering it.
- t. Impacts of Construction – The proposed development is not located near residential areas or schools, so the impacts of construction will be minimal. Any road closures or detours required as a result of the development will be designed in conformance with VDOT requirements and minimized to the extent possible so as to limit delays in travel through the area.

For additional information regarding building footprints, floodplains, open space, outdoor storage, landscaping, screening and parking please refer to the Site Plan included with this submission.

# PROPOSED LOVE'S TRAVEL STOP STATE ROUTE 603 ELLISTON MONTGOMERY COUNTY, VA, 24087



Sheet List Table

Sheet Number	Sheet Title
Z1.0	COVER SHEET
Z2.0	OVERALL SITE PLAN
Z3.0	ZONING PLAN - NORTH
Z3.1	ZONING PLAN - SOUTH
Z4.0	PRELIMINARY PLANTING PLAN
Z4.1	PRELIMINARY PLANTING PLAN
Z4.2	PLANTING DETAILS & NOTES

BENCHMARKS	
TBM-1	FOUND 5/8" REBAR W/ ORANGE CAP STAMPED "VDOT R/W" N: 3613156.0151 E: 10977748.5040 ELEV: 1237.67'
TBM-2	FOUND 5/8" REBAR W/ ORANGE CAP STAMPED "VDOT R/W" N: 3613418.2490 E: 10978381.5230 ELEV: 1227.46'

VERTICAL DATUM: NORTH AMERICAN VERTICAL DATUM (NAVD88) IN US SURVEY FEET

**PROPERTY DATA:**

PARCEL OWNER: LOVE'S TRAVEL STOPS & COUNTRY STORES, INC.

PARCEL ID: 046-A 10 & 046-A 11

ADDRESS: STATE ROUTE 603 ELLISTON, VA 24087

PROPERTY AREA: 25.4 AC

EXISTING ZONING: A-1 - AGRICULTURAL

PROPOSED ZONING: G-B - GENERAL BUSINESS

ADJACENT ZONING: NORTH: GB - GENERAL BUSINESS  
SOUTH: A-1 - AGRICULTURAL  
EAST: A-1 - AGRICULTURAL  
WEST: I-81 R/W

PROPOSED USE: TRUCK STOP

FLOODPLAIN DESIGNATION: THE SUBJECT PARCEL IS LOCATED WITHIN "ZONE AE" (AREA DETERMINED TO BE WITHIN THE 1% CHANCE OF ANNUAL FLOOD RISK) AS INDICATED BY THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY-PANEL NUMBER 51121C0176C, EFFECTIVE DATE: SEPTEMBER 25, 2009, PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

**OWNER/DEVELOPER**  
LOVE'S TRAVEL STOPS & COUNTRY STORES, INC.  
10601 N. PENNSYLVANIA AVE.  
OKLAHOMA CITY, OK 73120

CONTACT: RICK SHUFFIELD  
PH: (405) 302-6646  
EMAIL: RICK.SHUFFIELD@LOVES.COM

**ZONING**  
MONTGOMERY COUNTY PLANNING & GIS  
755 ROANOKE STREET, SUITE 2A  
CHRISTIANBURG, VA 24073  
PH: (540) 394-2148  
CONTACT: JUSTIN SANDERS

**STORM SEWER**  
MONTGOMERY COUNTY ENGINEERING  
755 ROANOKE STREET, SUITE 1C  
CHRISTIANBURG, VA 24073  
PH: (540) 394-2090  
CONTACT: JOHN BURKE

**SANITARY SEWER**  
COUNTY PUBLIC SERVICE AUTHORITY  
755 ROANOKE STREET, SUITE 21  
CHRISTIANBURG, VA 24073  
PH: (540) 381-1997  
CONTACT: CHUCK CAMPBELL

**WATER**  
PUBLIC SERVICE AUTHORITY  
755 ROANOKE STREET, SUITE 21  
CHRISTIANBURG, VA 24073  
PH: (540) 381-1997  
CONTACT: CHUCK CAMPBELL

**FIRE**  
COUNTY EMERGENCY SERVICES  
755 ROANOKE STREET, SUITE 2E  
CHRISTIANBURG, VA 24073  
PH: (540) 394-2146

**ENGINEER**  
CESO, INC.  
175 MONTROSE WEST AVE.  
SUITE 400  
AKRON, OH 44321

CONTACT: SARA HARVILLE  
PH: (330) 396-5151  
EMAIL: HARVILLE@CESOINC.COM

**ROADWAY**  
VDOT - SALEM DISTRICT  
731 HARRISON AVENUE  
SALEM, VA 24153  
PH: (540) 375-0146  
CONTACT: BRETT RANDOLPH

**EROSION CONTROL**  
VDEQ  
901 RUSSELL DRIVE  
SALEM, VA 21453  
PH: (540) 562-6700

**GAS**  
ROANOKE GAS  
519 KIMBALL AVENUE NE  
ROANOKE, VA 24016  
PH: (540) 777-3971  
CONTACT: WAYLON SPENCER

**ELECTRIC**  
CRAIG BOTETOURT ELECTRIC COOP  
26198 CRAIGS CREEK ROAD  
NEW CASTLE, VA 24127  
PH: (540) 864-5121  
CONTACT: CLYDE SNYDER

**COMMUNICATIONS**  
COMCAST  
PH: (603) 695-8450  
CONTACT: ANGLIQUE SANSOUCIE

NOTE: TELEPHONE AND COMMUNICATIONS CONTACT INFORMATION IS PROVIDED FOR UTILITY CONFLICT COORDINATION PURPOSES ONLY. FOR ANY NECESSARY SERVICE OR ACCOUNT SETUPS, CONTACT KRISTAL TURNER WITH LOVE'S AT (405) 463-8959 OR BY EMAIL AT KRISTAL.TURNER@LOVES.COM TO COORDINATE.

**STANDARD DRAWINGS**

THE STANDARD SPECIFICATIONS OF VA DEPARTMENT OF TRANSPORTATION (VDOT), CURRENT EDITION, INCLUDING STANDARD DRAWINGS SHALL GOVERN THIS IMPROVEMENT.



LOVE'S TRAVEL STOPS  
ELLISTON, VA  
5241 NORTH FORK ROAD  
ELLISTON, VIRGINIA 24087

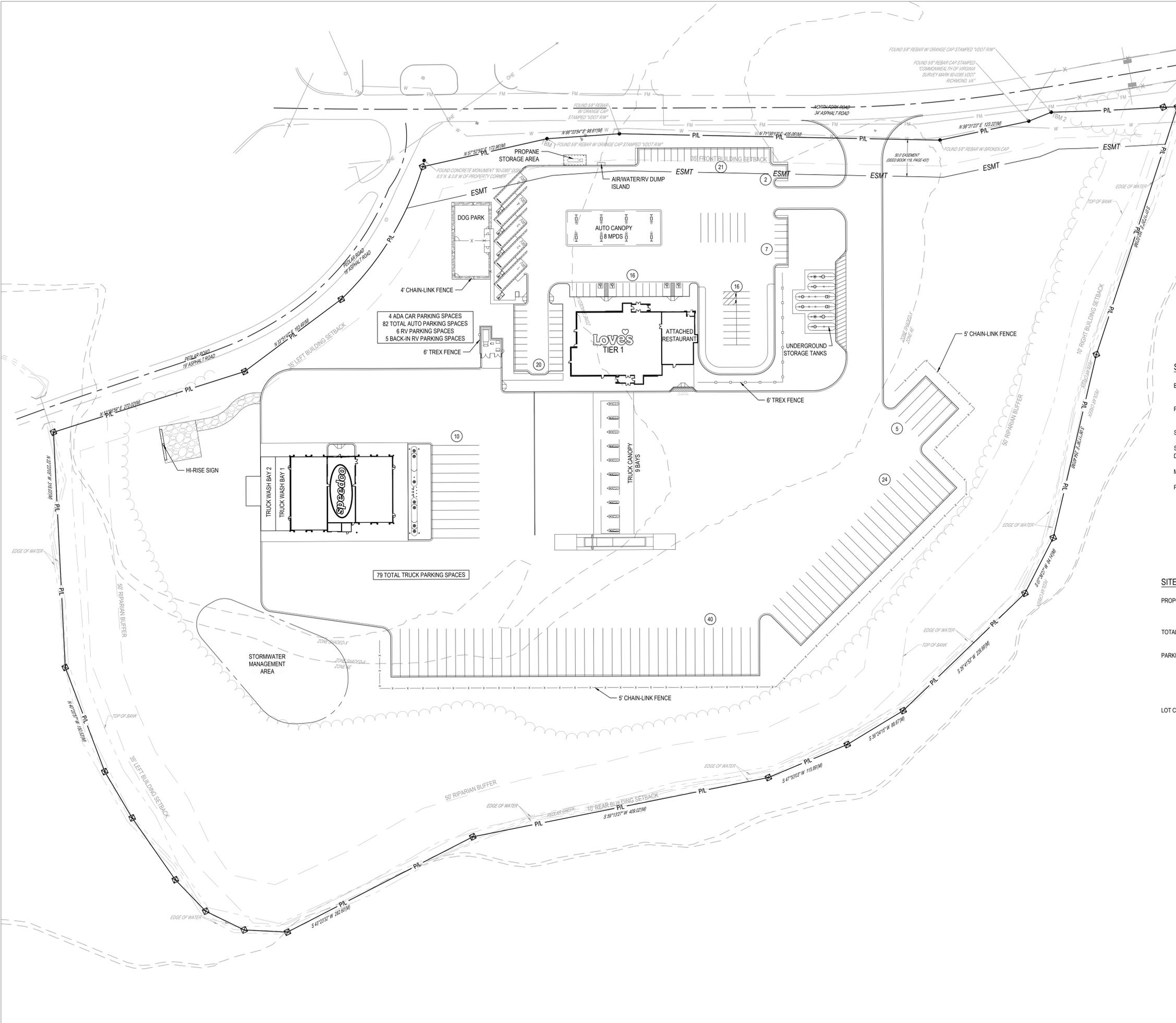
Revisions / Submissions		
ID	Description	Date

Project Number: 760523  
Scale: N/A  
Drawn By: EEH  
Checked By: JTK  
Date: 8/22/2022  
Issue: REZONING SUBMITTAL

Drawing Title:  
**COVER SHEET**

**Z1.0**

W:\PROJECTS\LOVES\760523 - Elliston, VA\03-CIVIL\PLAN\LOT760523\_OVERALL SITE.dwg - 5/19/2022 - Erika Howard



**LEGEND**

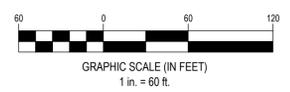
- EXISTING**  
REFER TO ALTANSPS TOPOGRAPHIC SURVEY
- PROPOSED**
- CONCRETE CURB AND GUTTER
  - PAVEMENT
  - 6' TREX FENCE (REF. ARCH. PLANS)
  - × 5' CHAIN-LINK FENCE (REF. ARCH. PLANS)
  - × 4' BLACK CHAIN-LINK FENCE (REF. ARCH. PLANS)
  - ⊗ NUMBER OF PARKING STALLS

**SITE REQUIREMENTS:**

- BUILDING SETBACKS:** FRONT YARD - 35'; REAR YARD - 10'; RIGHT YARD - 10'; LEFT YARD - 35'
- PARKING SETBACKS:** FRONT YARD - 8'; REAR YARD - 8'; RIGHT YARD - 8'; LEFT YARD - 8'
- SIGN SETBACKS:** 10' (FREESTANDING) / 40' (HI-RISE)
- STANDARD PARKING DIMENSIONS:** 9'x18'L
- MINIMUM DRIVE AISLE:** 24'
- PARKING REQUIRED:** LOVE'S COUNTRY STORE:  
(4) SPACES PER 1000 S.F. OF GROSS LEASABLE AREA  
10,200 x (4/1000) = 41 SPACES
- RESTAURANT:  
(1) SPACE PER 50 S.F. OF PATRON USE SPACE  
RESTAURANT = 3,020 SF x (1/50) = 61 SPACES
- TOTAL PARKING REQUIRED = 102 SPACES**

**SITE ANALYSIS:**

- PROPOSED BUILDING AREA**
- |                       |                     |
|-----------------------|---------------------|
| LOVE'S COUNTRY STORE: | 10,200± S.F.        |
| ATTACHED RESTAURANT:  | 3,020± S.F.         |
| TIRE SHOP:            | 12,670± S.F.        |
| TRUCK WASH:           | 4,800± S.F.         |
| <b>TOTAL:</b>         | <b>30,690± S.F.</b> |
- PARKING PROVIDED:**
- PARKING DIMENSIONS: VARIES  
(4) ADA PARKING SPACES  
(78) STANDARD CAR PARKING SPACES  
(11) RV PARKING SPACES  
(79) TRUCK PARKING SPACES  
172 TOTAL PARKING SPACES
- LOT COVERAGE:**
- MAXIMUM BUILDING ALLOWED: 40%  
PROPOSED: 2.8% (30,690 S.F./1,104,556 S.F.)
- MAXIMUM IMPERVIOUS ALLOWED: 85%  
PROPOSED: 43% (470,246 S.F./1,104,556 S.F.)



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**LOVES TRAVEL STOPS**

**ELLISTON, VA**

5241 NORTH FORK ROAD  
ELLISTON, VIRGINIA 24087

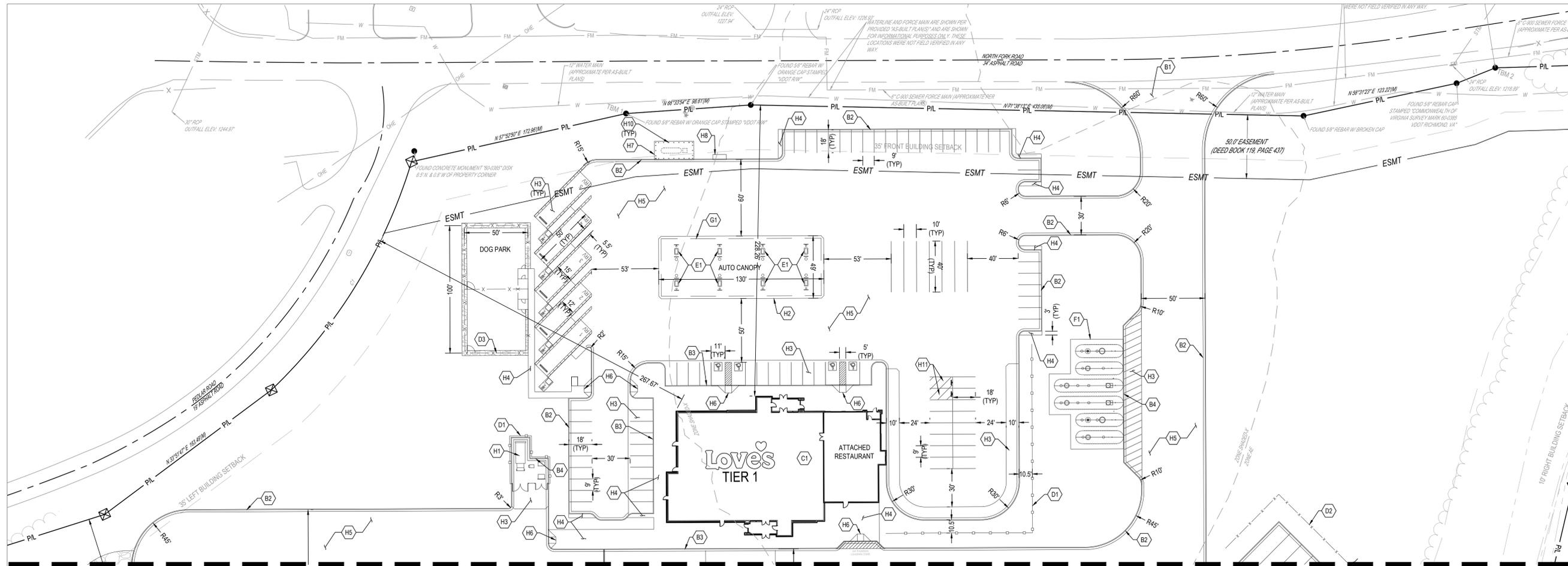
Revisions / Submissions

ID	Description	Date

Drawing Title:

**OVERALL SITE PLAN**

**Z2.0**



MATCHLINE SEE SHEET Z3.1

**A. GENERAL NOTES**

- GENERAL SCOPE OF WORK INCLUDES:  
BUILDINGS  
CANOPIES  
FUEL TANKS  
PIPING AND DISPENSERS  
STORMWATER DETENTION SYSTEM  
PARKING
- ALL RADII TO BE 5'-0" UNLESS OTHERWISE NOTED

**B. SITE WORK**

- PROPOSED DRIVE CONCRETE APPROACH
- PROPOSED CURB AND GUTTER
- COLOR CONCRETE CURB
- MONOLITHIC CURB

**C. BUILDING**

- LOVE'S COUNTRY STORE AND RESTAURANT (13,220 S.F. ±)
- TIRE SHOP BUILDING (13,105 S.F. ±)

**D. EXTERIOR APPEARANCE**

- 6' HIGH TREX SCREENING FENCE
- 5' HIGH CHAIN - LINK FENCE
- 4' HIGH CHAIN - LINK FENCE
- LOVE'S HIGH RISE SIGN

**E. DISPENSERS**

- (8) DISPENSERS, SUMPS, AND ISLAND (CAR)
- (10) DISPENSERS, SUMPS, AND ISLANDS (TRUCK)

**F. UNDERGROUND STORAGE TANKS**

- CONCRETE SLAB AND PROPOSED UNDERGROUND FUEL STORAGE TANKS FOR GASOLINE/DIESEL/DEF.

**G. CANOPY**

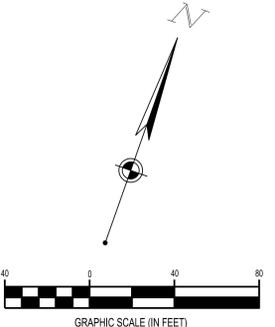
- 126' x 45' CANOPY PER CURRENT STANDARDS (CAR).
- 179' x 25' CANOPY PER CURRENT STANDARDS (TRUCK).

**H. YARD**

- TRASH ENCLOSURE
- CONCRETE CANOPY SLAB
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- ASPHALT PAVEMENT
- ADA RAMP
- CONCRETE SLAB AND PROPANE STORAGE AREA
- AIRWATER/RV DUMP ISLAND
- CONCRETE TRUCK SCALE
- BOLLARDS
- RESERVED PARKING SPACE FOR DRIVE-THRU CUSTOMERS. REFER TO ARCHITECTURAL PLANS FOR SIGNAGE AND STRIPING.

**LEGEND**

EXISTING	PROPOSED
REFER TO ALTANSPS TOPOGRAPHIC SURVEY	
CONCRETE CURB AND GUTTER	XX' SETBACK SETBACK
PAVEMENT	GRAVEL
BOLLARD	
6' TREX FENCE	
5' CHAIN-LINK FENCE	
4' BLACK CHAIN-LINK FENCE	



NOT TO BE USED AS CONSTRUCTION DRAWINGS

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LOVE'S TRAVEL STOPS

**ELLISTON, VA**  
5241 NORTH FORK ROAD  
ELLISTON, VIRGINIA 24087

Revisions / Submissions		
ID	Description	Date

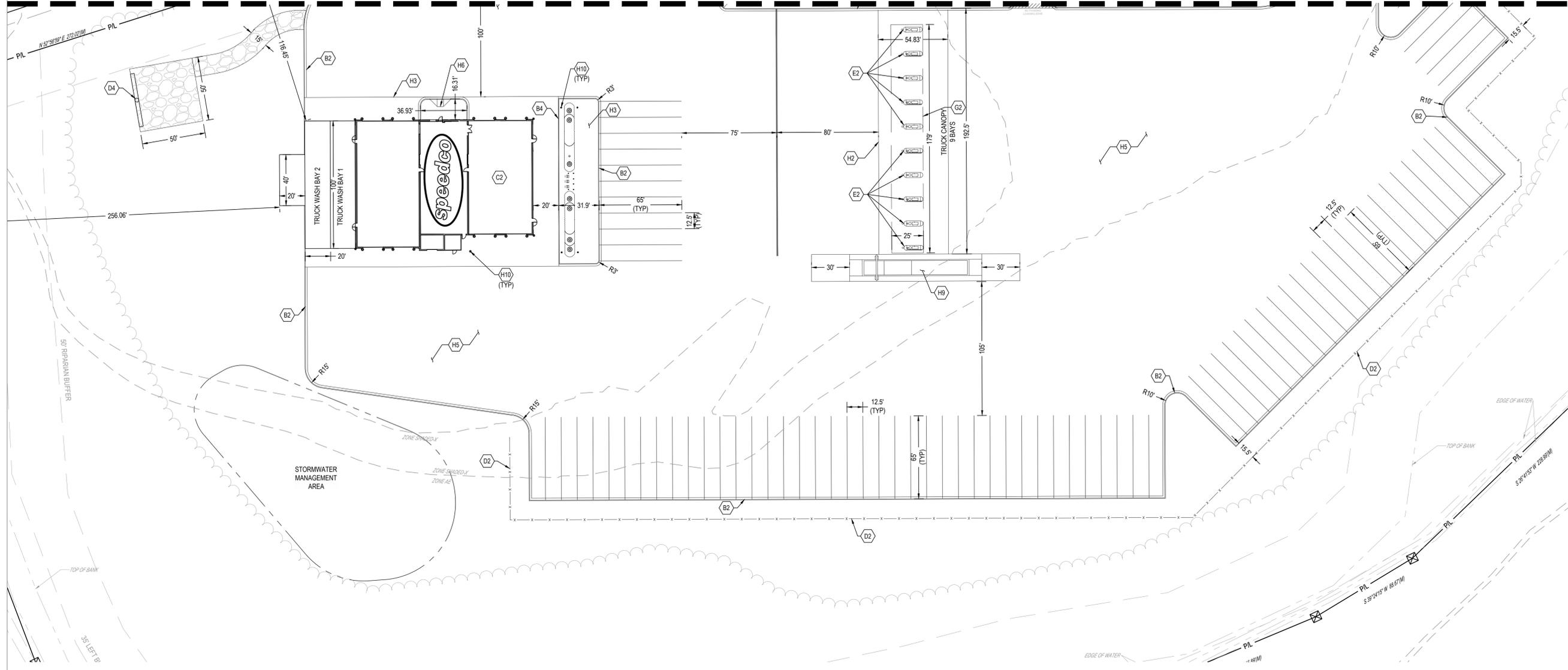
Project Number:	760523
Scale:	40
Drawn By:	EEH
Checked By:	JTK
Date:	8/22/2022
Issue:	REZONING SUBMITTAL

Drawing Title:  
**ZONING PLAN - NORTH**

**Z3.0**

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MATCHLINE SEE SHEET Z3.0



**A. GENERAL NOTES**

- GENERAL SCOPE OF WORK INCLUDES:  
BUILDINGS  
CANOPIES  
FUEL TANKS  
PIPING AND DISPENSERS  
STORMWATER DETENTION SYSTEM  
PARKING
- ALL RADII TO BE 5'-0" UNLESS OTHERWISE NOTED

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- PROPOSED DRIVE CONCRETE APPROACH
- PROPOSED CURB AND GUTTER
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- MONOLITHIC CURB

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**G. CANOPY**

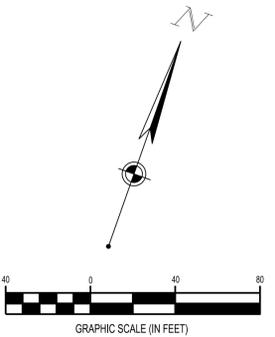
- 126' x 45' CANOPY PER CURRENT STANDARDS (CAR).
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**H. YARD**

- TRASH ENCLOSURE
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- AIR/WATER/RV DUMP ISLAND
- CONCRETE TRUCK SCALE
- BOLLARDS
- RESERVED PARKING SPACE FOR DRIVE-THRU CUSTOMERS. REFER TO ARCHITECTURAL PLANS FOR SIGNAGE AND STRIPING.

**LEGEND**

EXISTING		PROPOSED	
REFER TO ALTANSPS TOPOGRAPHIC SURVEY		CONCRETE CURB AND GUTTER	XX' SETBACK
		PAVEMENT	SETBACK
		BOLLARD	GRAVEL
		6' TREX FENCE	
		5' CHAIN-LINK FENCE	
		4' BLACK CHAIN-LINK FENCE	



NOT TO BE USED AS CONSTRUCTION DRAWINGS

LOVE'S TRAVEL STOPS

**ELLISTON, VA**  
5241 NORTH FORK ROAD  
ELLISTON, VIRGINIA 24087

Revisions / Submissions		
ID	Description	Date

Project Number: 760523  
Scale: 40  
Drawn By: EEH  
Checked By: JTK  
Date: 8/22/2022  
Issue: REZONING SUBMITTAL

Drawing Title:  
**ZONING PLAN - SOUTH**

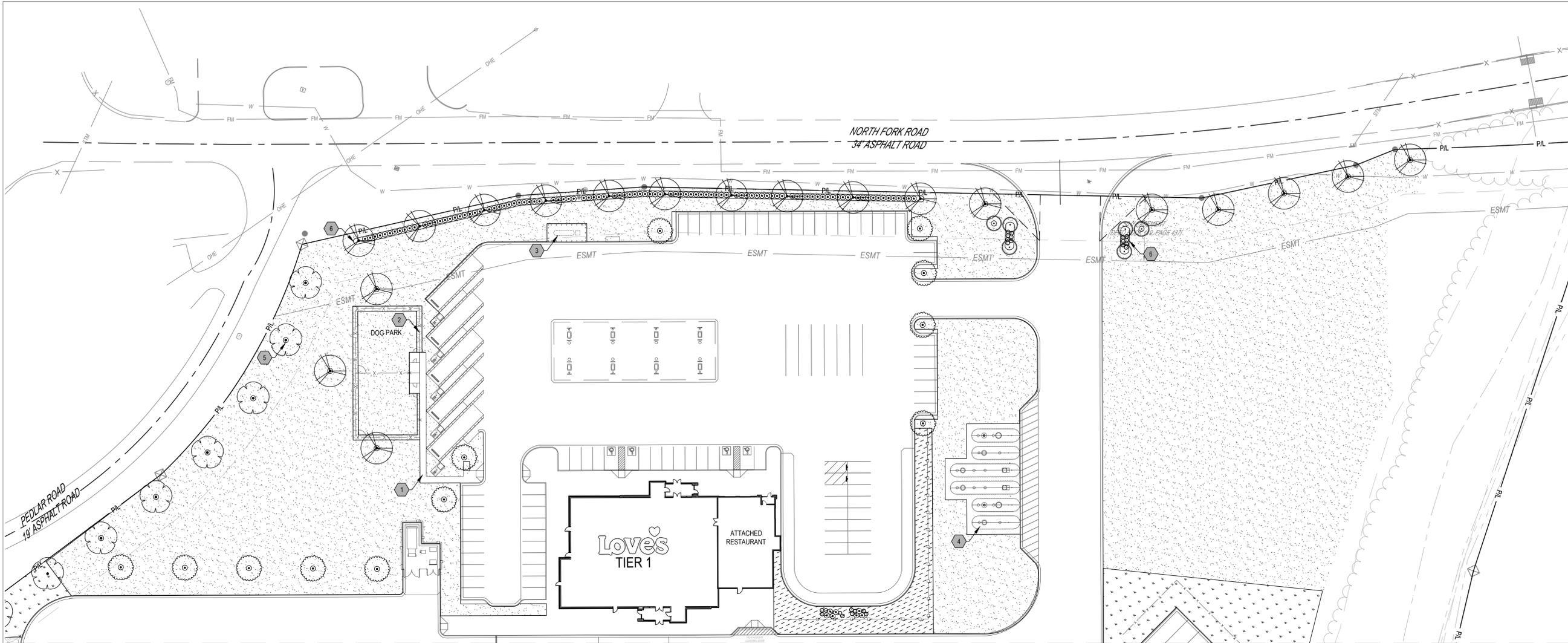
**Z3.1**

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MATCHLINE SEE SHEET Z4.1

PLANT SCHEDULE ELLISTON, VA

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	19	CANOPY TREE A	1" CAL	8' HT	AS SHOWN
	19	CANOPY TREE B	1" CAL	8' HT.	AS SHOWN
	11	CANOPY TREE C	1" CAL	8' HT	AS SHOWN
	6	UNDERSTORY TREE	---	6' HT	AS SHOWN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	24	DECIDUOUS SHRUB	---	18" HT	3'-0" OC
	107	EVERGREEN SHRUB	---	30" HT	4'-0" OC
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	282,499	GRASS SEEDING PER LOCAL SPECS	SEED/STRAW		
	145,123 SF	SOD PER LOCAL SPECS	SOD		
MISCELLANEOUS ITEMS		DECORATIVE ROCK MULCH		3985 SF	
		PLACE LOCALLY SOURCED ROCK MULCH OVER FILTER FABRIC.			

LANDSCAPE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND CODES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY FROM THE LOCALITY PRIOR TO CONSTRUCTION.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
- ALL TREES MUST BE GUYED OR STAKED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- ALL DISTURBED AREAS ARE TO RECEIVE 6" OF TOP SOIL, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS OBTAINED. THIS IS EXCLUDING ALL LANDSCAPED ISLANDS AND ENTRANCE AREAS.
- WEED MATS SHALL BE PLACED UNDER PLANTING AREAS THAT WILL NOT BE SEEDDED AND IN ANY OTHER LOCATIONS AS SHOWN ON THE PLAN. COVER WEED MATS WITH 4 INCHES OF RIVER ROCK AND SECURE IN PLACE WITH SOIL STAPLES.
- ALL LAWNS FROM THE FACE OF THE BUILDING AND ON THE SIDE OF THE BUILDING WHERE THERE IS PARKING OR A STREET ARE REQUIRED TO BE FULLY SODDED. ALL OTHER LANDSCAPE AREAS TO RECEIVE SEED.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES IN THE CONSTRUCTION AREA AND ADJACENT TO THE WORK AREA. CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.

MULCH

- ALL PLANT BEDS SHALL CONTAIN A 3" LAYER OF DECORATIVE ROCK MULCH
- CONTRACTOR TO PLACE 4" DIAMETER MULCH RING AROUND ALL TREES IN LAWN

LANDSCAPE REQUIREMENTS

LANDSCAPE BUFFERS (PER SEC 10-43)

- BUFFER TYPE 1 - GROUP 5 ACROSS FROM GROUP 5 (2 CANOPY TREES PER 100 LF)**  
 NORTH: 904 LF  
 REQUIRED: 18 CANOPY TREES  
 PROPOSED: 18 CANOPY TREES (16 PROPOSED, 2 EXISTING TO REMAIN)
- BUFFER TYPE 3 - GROUP 5 ADJACENT TO AG-1 (2 CANOPY TREES, 5 UNDERSTORY TREES, & 10 SHRUBS PER 100 LF)**  
 EAST (SIDE): 691 LF  
 REQUIRED: 14 CANOPY TREES  
 PROPOSED: EXISTING CANOPY TREES TO REMAIN  
 REQUIRED: 35 UNDERSTORY TREES  
 PROPOSED: EXISTING UNDERSTORY TREES TO REMAIN  
 REQUIRED: 69 SHRUBS  
 PROPOSED: EXISTING SHRUBS TO REMAIN
- BUFFER TYPE 3 - GROUP 5 ADJACENT TO AG-1 (3 CANOPY TREES, 5 UNDERSTORY TREES, & 20 SHRUBS PER 100 LF)**  
 SOUTH (REAR): 1,945 LF  
 REQUIRED: 59 CANOPY TREES  
 PROPOSED: EXISTING CANOPY TREES TO REMAIN  
 REQUIRED: 98 UNDERSTORY TREES  
 PROPOSED: EXISTING UNDERSTORY TREES TO REMAIN  
 REQUIRED: 389 SHRUBS  
 PROPOSED: EXISTING SHRUBS TO REMAIN

TREE CANOPY (10% CANOPY IN 10 YEARS)

- SITE: 1,104,556 SF  
 REQUIRED: 110,456 SF  
 PROVIDED 326,672 SF (30%) EXISTING CANOPY TO REMAIN BETWEEN TREE LINE AND PROPERTY LINE

PARKING LOT LANDSCAPING

- PARKING PERIMETER TREES (1 CANOPY TREE PER 10 SPACES)**  
 92 AUTO PARKING SPACES  
 REQUIRED: 10 TREES  
 PROPOSED: 10 TREES (PROPOSED ELSEWHERE ON SITE)

- INTERIOR LANDSCAPING (ONE CANOPY TREE PER 4 PARKING SPACES)**  
 92 AUTO PARKING SPACES  
 REQUIRED: 23 CANOPY TREES  
 PROPOSED: 23 CANOPY TREES (7 TREES IN ISLANDS, 16 ELSEWHERE ON SITE)

NOTE

- ALL PROPOSED TREES TO MEET SPECIFICATION OF THE AMERICAN ASSOCIATION OF NURSERYMEN

LEGEND

- 6' TREX FENCE (REF. ARCH PLANS)
- 4' BLACK CHAIN-LINK FENCE (REF. ARCH. PLANS)
- SIGHT TRIANGLE
- EASEMENT

CODED NOTES:

- CONCRETE WALK, SEE CIVIL PLANS
- FENCE AND GRAVEL AROUND DOG PARK
- PROPANE STORAGE AREA
- UNDERGROUND STORAGE TANKS
- MULCH RING, TYPICAL
- PLANTING BED EDGE, TYPICAL
- HI-RISE SIGN



LOVES TRAVEL STOPS

ELLISTON, VA

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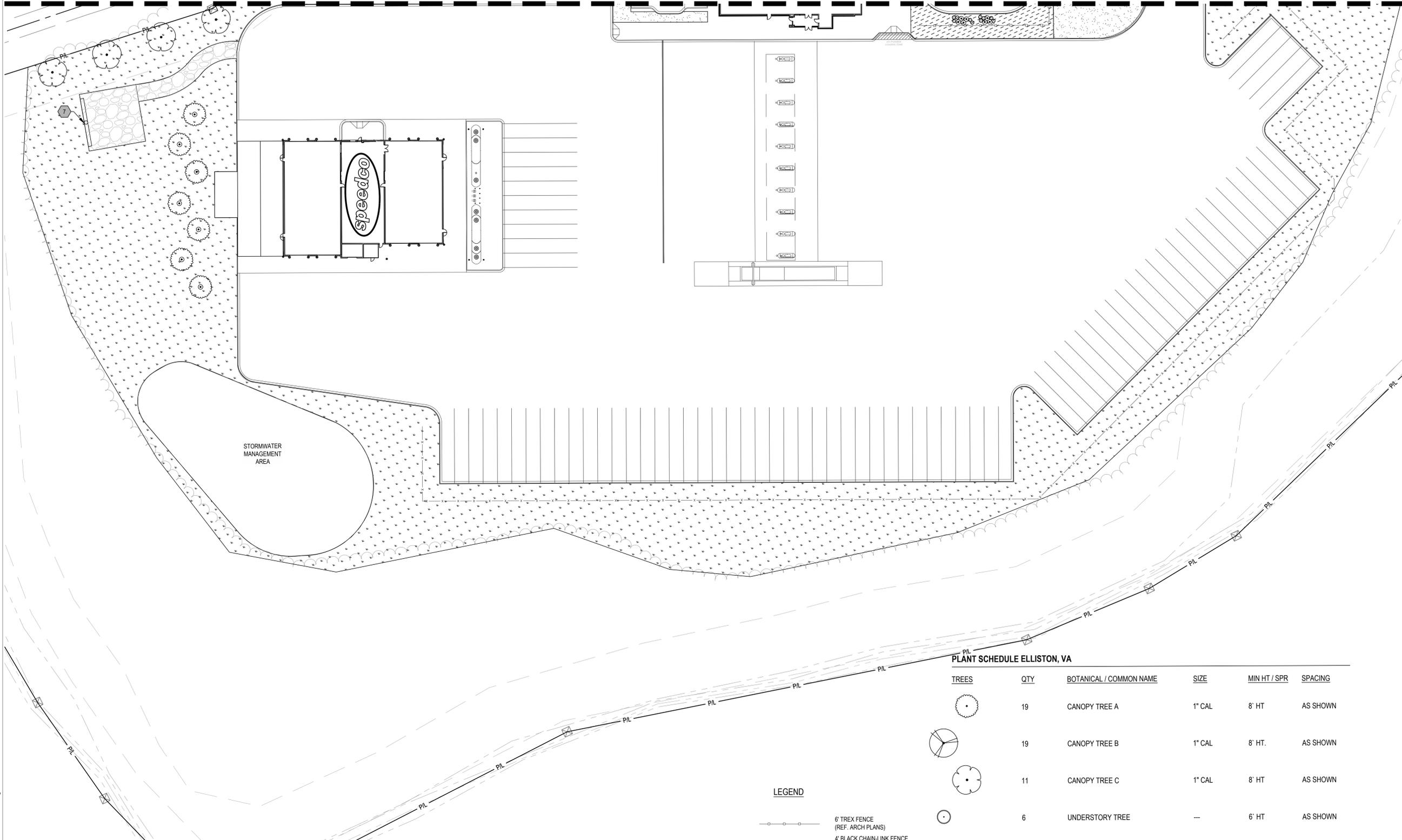
Revisions / Submissions  
ID Description Date

Project Number: 760523  
 Scale: 40  
 Drawn By: HI, EB  
 Checked By: CJC  
 Date: 8/22/2022  
 Issue: REZONING SUBMITTAL

Drawing Title:  
**PRELIMINARY PLANTING PLAN**

**Z4.0**

MATCHLINE SEE SHEET Z4.0



**LOVES TRAVEL STOPS**  
**ELLISTON, VA**  
 5241 NORTH FORK ROAD  
 ELLISTON, VIRGINIA 24087

**PLANT SCHEDULE ELLISTON, VA**

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	19	CANOPY TREE A	1" CAL	8' HT	AS SHOWN
	19	CANOPY TREE B	1" CAL	8' HT.	AS SHOWN
	11	CANOPY TREE C	1" CAL	8' HT	AS SHOWN
	6	UNDERSTORY TREE	---	6' HT	AS SHOWN
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	24	DECIDUOUS SHRUB	---	18" HT	3'-0" OC
	107	EVERGREEN SHRUB	---	30" HT	4'-0" OC
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	MIN HT / SPR	SPACING
	282,499	GRASS SEEDING PER LOCAL SPECS	SEED/STRAW		
	145,123 SF	SOD PER LOCAL SPECS	SOD		

**LEGEND**

- 6' TREX FENCE (REF. ARCH PLANS)
- 4' BLACK CHAIN-LINK FENCE (REF. ARCH. PLANS)
- SIGHT TRIANGLE
- EASEMENT

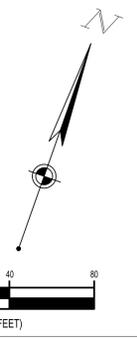
**CODED NOTES:**

1. CONCRETE WALK, SEE CIVIL PLANS
2. FENCE AND GRAVEL AROUND DOG PARK
3. PROPANE STORAGE AREA
4. UNDERGROUND STORAGE TANKS
5. MULCH RING, TYPICAL
6. PLANTING BED EDGE, TYPICAL
7. HI-RISE SIGN

**LANDSCAPE NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL REGULATIONS AND CODES. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FINAL APPROVALS/PERMITTING AND INSPECTION AS NECESSARY FROM THE LOCALITY PRIOR TO CONSTRUCTION.
2. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
3. ALL TREES MUST BE STRAIGHT TRUNKED AND FULL HEADED AND MEET ALL REQUIREMENTS SPECIFIED.
4. ALL TREES MUST BE GUYED OR STAKED.
5. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
6. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
7. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.

8. ALL PLANT MATERIALS QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
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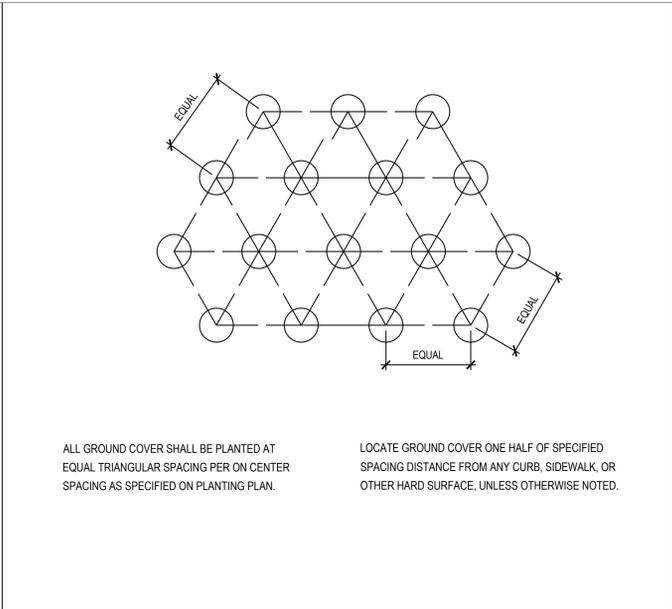
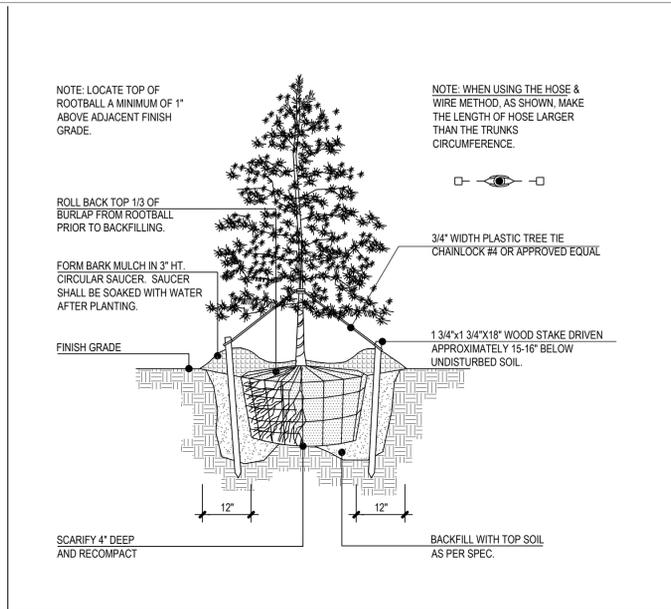
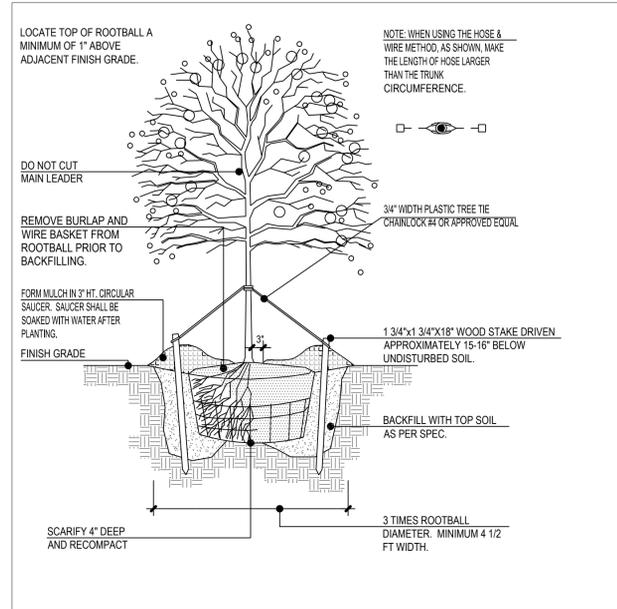
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Project Number: 760523  
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Drawing Title:  
**PRELIMINARY PLANTING PLAN**

**Z4.1**



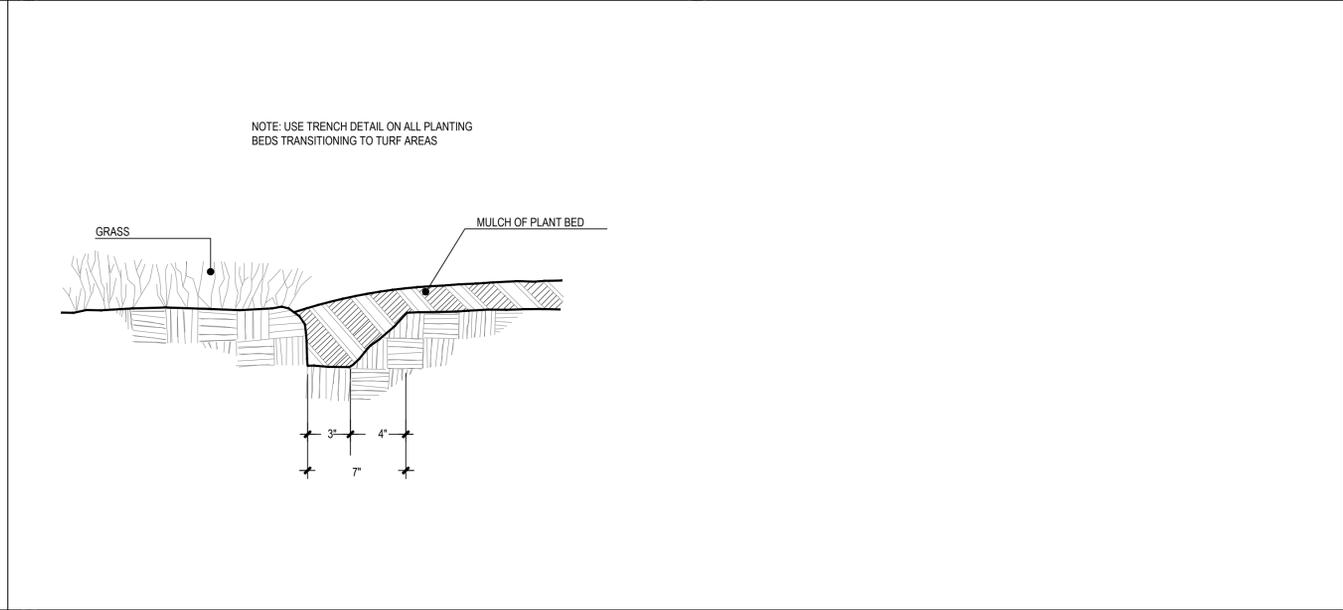
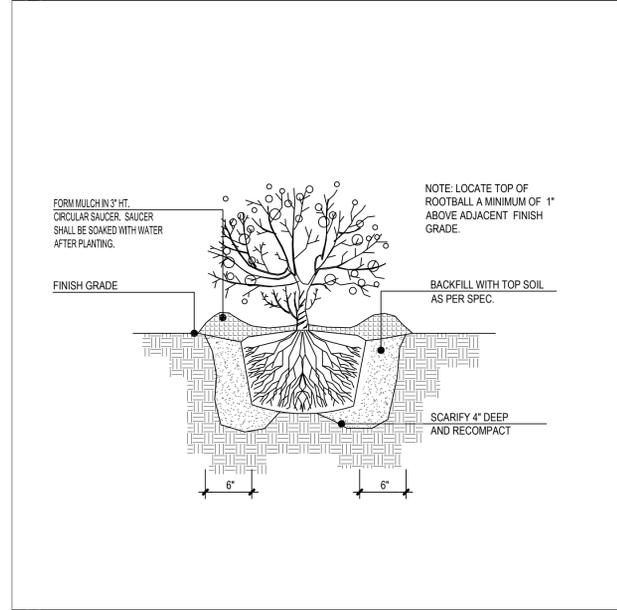
**GENERAL NOTES: LANDSCAPE PLAN**

- CONTRACTOR TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY LOCATE SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION.
- REFER TO SITE CIVIL DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWING AS NEEDED.
- REESTABLISH EXISTING TURF IN AREAS DISTURBED BY GRADING OR UTILITY TRENCHING, INCLUDING AREAS IN RIGHT-OF-WAY, TO MATCH EXISTING SPECIES.
- CONTRACTOR SHALL EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR TO REPORT ALL DAMAGES TO EXISTING CONDITIONS AND INCONSISTENCIES WITH PLANS TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN ALL LANDSCAPE BEDS AND ALL LAWN AREAS.
- CONTRACTOR TO FINE GRADE AND ROCK-HOUND ALL TURF AREAS PRIOR TO SEEDING, TO PROVIDE A SMOOTH AND CONTINUOUS SURFACE, FREE OF IRREGULARITIES (BUMPS OR DEPRESSIONS) & EXTRANEOUS MATERIAL OR DEBRIS.
- REMOVE EXISTING WEEDS FROM PROJECT SITE PRIOR TO THE ADDITION OF ORGANIC AMENDMENTS AND FERTILIZER. APPLY AMENDMENTS AND FERTILIZER AS NEEDED.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS BID QUANTITIES AS REQUIRED BY THE PLANS AND SPECIFICATIONS. IF THERE IS A DISCREPANCY BETWEEN THE NUMBER LABELED ON THE PLANT LEGEND AND THE QUANTITY OF GRAPHIC SYMBOLS SHOWN, THE GREATER QUANTITY SHALL GOVERN.
- COORDINATE LANDSCAPE INSTALLATION WITH INSTALLATION OF UNDERGROUND SPRINKLER AND DRAINAGE SYSTEMS.
- ALL SIZES AND QUALITY OF PLANT MATERIAL SHALL MEET THE MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2014). THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN SIZE AS INDICATED IN THE PLANT SCHEDULE UNLESS OTHERWISE SPECIFIED ON THE PLAN SET. ALL PLANTS THAT DO NOT MEET THE SIZE AND SPECIFICATIONS SET FORTH BY THE AMERICAN STANDARD FOR NURSERY STOCK WILL BE REJECTED BY LANDSCAPE ARCHITECT AT NO COST TO OWNER.
- ONCE PROJECT IS AWARDED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SECURE ALL PLANT MATERIAL IN THE SIZE SPECIFIED ON PLAN PRIOR TO INSTALLATION. IN THE EVENT THE PLANT MATERIAL IS NOT AVAILABLE IN THE SIZE SPECIFIED, THE CONTRACTOR SHALL INSTALL LARGER AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ALL PLANT MATERIAL SUBSTITUTIONS FROM THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. PLANT SUBSTITUTIONS WITHOUT PRIOR WRITTEN APPROVAL THAT DO NOT COMPLY WITH THE DRAWINGS AND SPECIFICATIONS MAY BE REJECTED BY THE LANDSCAPE ARCHITECT AND REPLACED BY CONTRACTOR AT NO COST TO THE OWNER.
- PRIOR TO MOBILIZATION THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, IN WRITING, IF HE/SHE BELIEVES ANY OF THE PLANT MATERIAL IDENTIFIED ON THE PLAN MAY NOT BE SUITABLE FOR THE SITE OR MAY DIE. SUBSTITUTION REQUESTS WILL BE GRANTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. IF NOTIFICATION IS NOT GIVEN TO THE LANDSCAPE ARCHITECT ALL PLANTING WHICH FAILS TO GROW (EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE AS DETERMINED BY THE OWNER, NEGLIGENCE, OR VANDALISM) SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- WHERE PROPOSED TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY LANDSCAPE ARCHITECT TO ADJUST TREE LOCATIONS.
- ALL PLANT MASSES TO BE TOP DRESSED WITH MULCH AS SPECIFIED IN PLANT SCHEDULE. SPREAD UNIFORMLY IN DEPTH OVER THE PLANTING BEDS AS DELINEATED ON THE PLANS UNLESS OTHERWISE NOTED.
- BED EDGE TO BE NO LESS THAN 12" AND NO MORE THAN 18" FROM OUTER EDGE OF PLANT MATERIAL BRANCHING. WHERE GROUND-COVER OCCURS, PLANT TO LIMITS OF AREA AS SHOWN.
- ALL PLANTS SHALL BE GUARANTEED FOR 1 YEAR AFTER SUBSTANTIAL COMPLETION OCCURS AND FINAL ACCEPTANCE BY OWNER.
- LANDSCAPE MAINTENANCE PERIOD BEGINS IMMEDIATELY AFTER THE COMPLETION OF ALL PLANTING OPERATIONS AND WRITTEN ACCEPTANCE FROM THE OWNER AND LANDSCAPE ARCHITECT. MAINTAIN TREES, SHRUBS, LAWNS, AND OTHER PLANTS AS PER THE PROJECT MANUAL AND/OR WRITTEN SPECIFICATIONS, IF APPLICABLE. LANDSCAPE MAINTENANCE IS THE LANDSCAPING CONTRACTORS RESPONSIBILITY UNTIL FINAL ACCEPTANCE BY THE OWNER.
- ALL LANDSCAPE MAINTENANCE SHALL BE IN ACCORDANCE WITH LOCAL GOVERNING STANDARDS.
- REFER TO PROJECT MANUAL OR WRITTEN SPECIFICATIONS, IF AVAILABLE, FOR ADDITIONAL REQUIREMENTS.

1 DECIDUOUS TREE STAKING N.T.S.

2 EVERGREEN TREE STAKING N.T.S.

3 GROUND COVER SPACING N.T.S.



4 EVERGREEN / DECIDUOUS SHRUB N.T.S.

5 TRENCH EDGING N.T.S.

**SOIL PLANTING MIXTURE (MIX ONSITE)**

- THE LANDSCAPE CONTRACTOR SHALL FURNISH FROM THEIR SOURCE A GOOD CLEAN, NATIVE SOIL WHICH SHALL MEET THE APPROVAL OF THE OWNER'S REPRESENTATIVE. THIS SOIL SHALL BE USED FOR THE PLANTING MIXTURE AS FOLLOWS:
  - ONE PART COMPOST/MANURE PLANTING MIX, TOPSOIL OR APPROVED EQUAL
  - ONE PART NATIVE SOIL
- SOILS WITHIN PLANTING AREAS MUST BE SUITABLE FOR PROPOSED PLANTED MATERIAL & SOD WITH REGARD TO: pH, SOIL TEXTURE, SOIL STRUCTURE, AND SEASONAL HIGH WATER TABLE. THE CONTRACTOR SHALL ANALYZE EXISTING SOILS LOCATED IN PROXIMITY TO PROPOSED PLANT MATERIAL AND BE RESPONSIBLE TO AMEND THE SOIL TO OBTAIN ESSENTIAL REQUIREMENTS NECESSARY FOR THE ESTABLISHMENT AND GROWTH OF PLANT LIFE. LANDSCAPE CONTRACTOR TO PROVIDE SOILS REPORT AND APPROPRIATE RECOMMENDATIONS PRIOR TO INSTALLATION TO OWNER'S REPRESENTATIVE FOR REVIEW. FAILURE TO PROVIDE REPORT MAY RESULT IN PLANT MATERIAL BEING REJECTED BY OWNER'S REPRESENTATIVE AND REPLACED AT NO COST TO OWNER.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING PRIOR TO PLANTING, WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, POOR PLANTING SOIL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS.

Revisions / Submissions		
ID	Description	Date

Project Number: 760523  
 Scale: 40  
 Drawn By: HI, EB  
 Checked By: CJC  
 Date: 8/22/2022  
 Issue: REZONING SUBMITTAL

Drawing Title:  
**PLANTING DETAILS & NOTES**

**Z4.2**

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**LOVES TRAVEL STOPS**

**ELLISTON, VA**  
5241 NORTH FORK ROAD  
ELLISTON, VIRGINIA 24087

## LIGHTING FIXTURE SCHEDULE

QTY	TYPE	MANUFACTURER	CATALOG #	DESCRIPTION	BUG RATING	LUMENS	VOLTS	WATTS	MOUNTING	REMARKS	FURNISHED BY
1	BB	COOPER	GLEON-AF-06-LED-E1-SL3-BZ-7050	6 Cube LED Site Fixture Type III w/spill control	B3-UO-G5	35604	208	333	POLE	(NOTE 1 & 4)	OWNER
14	CC	COOPER	GLEON-AF-06-LED-E1-SL4-BZ	6 Cube LED Site Fixture Type IV w/spill control	B3-UO-G5	33829	208	333	POLE	(NOTE 1 & 4)	OWNER
26	EE	COOPER	GLEON-AF-08-LED-E1-SL4-BZ-1200-7050	8 Cube LED Site Fixture Type IV w/spill control	B4-UO-G5	49727	208	511	POLE	(NOTE 1 & 3)	OWNER
16	AA	CREE	CPY250-B-DM-D-B-UL-WH-57-HZ	WHITE LED CANOPY FIXTURE	B3-U2-G1	12860	208	96	CANOPY	NOTE 2	OWNER
8	AAF	CREE	CPY250-B-DM-D-E-UL-WH-57-HZ	WHITE LED CANOPY FIXTURE	B3-U2-G1	20080	208	145	CANOPY	NOTE 2	OWNER
30	AAB	CREE	CPY250-B-DM-D-B-UL-WH-57-HZ	BRONZE LED CANOPY FIXTURE	B3-U2-G1	12860	208	96	CANOPY	NOTE 2	OWNER
1	PP	CROUSE-HINDS	VMV7LUNV1	EXPLOSION PROOF LED LIGHT FIXTURE		7195	120	62	POLE	NOTE 5	OWNER

**LIGHT FIXTURE NOTES:**

- REFER TO ARCH SITE (SP) SHEETS FOR LIGHT POLE FOUNDATION DETAILS.
- CANOPY FIXTURES SHALL BE INSTALLED BY CANOPY CONTRACTOR, WIRING BY E.C.
- POLE MOUNT (1 HEAD)-RTS9A39SFN1/(2 HEAD) RTS9A39SFN5/(3 HEAD) RTS9A39SFN4/(4 HEAD) RTS9A39SFN4
- POLE MOUNT (1 HEAD) RTS8A30SFN1/(2 HEAD 180) RTS8A30SFN2/(2 HEAD 90) RTS8A30SFN5/(3 HEAD) RTS8A30SFN6/ (4 HEAD) RTS8A30SFN4
- POLE MOUNT ON TELESCOPING SAFETY LIGHT POLE, CROUSE-HINDS MODEL V65B-G-JM5-T58

**SITE LIGHTING FIXTURE MOUNTING HEIGHTS**

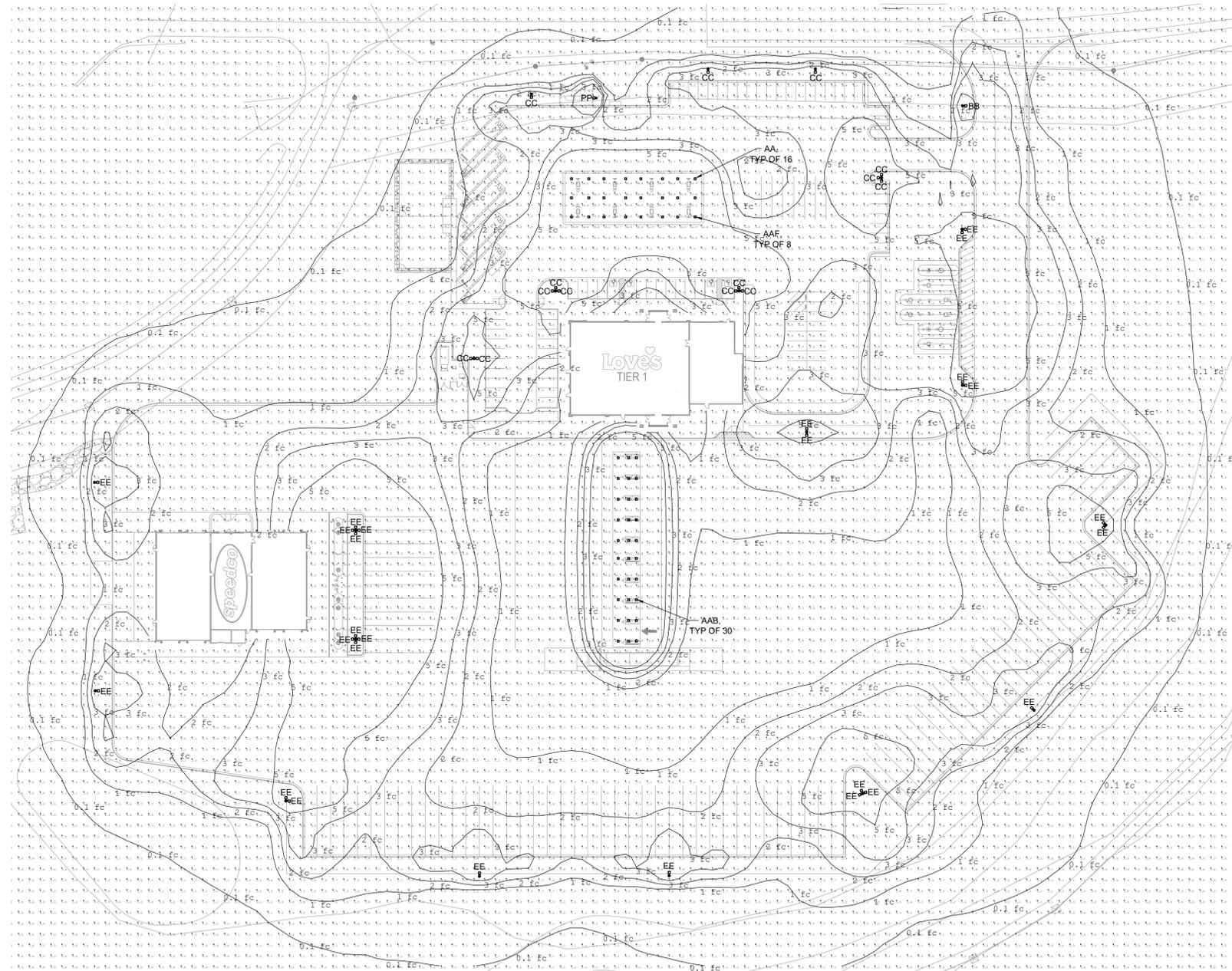
TYPE 'BB'	33'-0"
TYPE 'CC'	33'-0"
TYPE 'EE'	43'-0"
TYPE 'PP'	10'-0"

**GENERAL NOTES**

- ILLUMINANCE CALCULATIONS SHOWN ARE IN FOOTCANDLES (FC) AND ARE AT GRADE. PHOTOMETRIC FILES ARE PROVIDED BY THE MANUFACTURER.

### CALCULATION SUMMARY

LABEL	CALC TYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
OVERALL SITE	ILLUMINATIONS	FC	2.18	56.40	0.00	N/A	N/A
AUTO CANOPY	ILLUMINATIONS	FC	40.83	53.60	18.40	2.22	2.91
TRUCK CANOPY	ILLUMINATIONS	FC	44.29	56.40	22.70	1.95	2.48



**1 SITE PLAN - PHOTOMETRICS**  
SCALE: 1" = 60'-0"

SITE LIGHTING DESIGN USES FIXTURES THAT MAY APPEAR VISUALLY IDENTICAL BUT EMPLOY DIFFERENT OPTICS THAT DISTRIBUTE THE LIGHT IN DIFFERENT MANNERS OF DIFFER IN LIGHTING INTENSITY. CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING THE DIFFERENT DISTRIBUTION PATTERNS AND LUMEN PACKAGES AND MATCHING THE LOCATIONS OF THESE AS SHOWN IN PLANS. DEVIATION FROM PLANS WILL RESULT IN FAILURE TO MEET LOCAL LIGHTING ORDINANCES AND DESIGN INTENT AND WILL NEED TO BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER.

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T1-180

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DOCUMENT DATE: N/A  
PROTO: T1-180  
PROTO CYCLE: Q2 - 2022

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SITE PLAN - PHOTOMETRICS

SHEET: **E112**

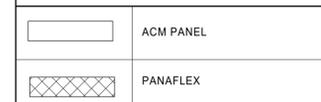
**FINISH LEGEND - EXTERIOR**

MARK	DESCRIPTION	MODEL	COMMENTS
ACM-1	ALUMINUM COMPOSITE MATERIAL	ALPOLIC, 4MM DM HLZ ALUMINUM, HLZ HAIRLINE ALUMINUM	CONTACT: MITSUBISHI-ALPOLIC TOM RATWAY P:757-286-0301 E: TOM_RATWAY@M-CHEM.COM
BR-1	FACE BRICK	ENDICOTT MODULAR SIZE FACE BRICK - COLOR: MANGANESE IRONSPOT - TEXTURE: SMOOTH - 3 5/8"x2 1/4"x7 5/8"	MORTAR TO MATCH FAIRBORN MIAMICOLOR - CHARCOAL BLACK 25-A
BR-2	ACCENT BRICK	ENDICOTT MODULAR SIZE FACE BRICK - COLOR: LIGHT GREY BLEND - TEXTURE: VELOUR - 3 5/8"x2 1/4"x7 5/8"	MORTAR TO MATCH FAIRBORN MIAMICOLOR - SMOKEY GRAY 41-A
EIFS-1	EIFS	"DRYVIT" OUTSULATION SYNTHETIC PLASTER WALL SYSTEM ON 1 1/2" "DRYVIT" INSULATION BOARD. COLOR: PAINT TO MATCH SW9170 ACIER; FINISH: LYMESTONE DPR	
EIFS-3	EIFS	"DRYVIT" OUTSULATION SYNTHETIC PLASTER WALL SYSTEM ON 1 1/2" "DRYVIT" INSULATION BOARD. COLOR: ARBY081030; SANDPEBBLED TEXTURE	
EIFS-4	EIFS	"DRYVIT" OUTSULATION SYNTHETIC PLASTER WALL SYSTEM ON 1 1/2" "DRYVIT" INSULATION BOARD. CUSTOMER BRICK SPECIALTY FINISH, NEW YORK STYLE TEMPLATE, 28PT. - 3/8" GROUT. COLOR: ARBY111009 FOR "GROUT" LAYER, ARBY 121-2 FOR "BRICK" LAYER	
EIFS-5	EIFS	"DRYVIT" OUTSULATION SYNTHETIC PLASTER WALL SYSTEM ON 1 1/2" "DRYVIT" INSULATION BOARD. COLOR: ARBY131030; SANDPEBBLED TEXTURE	
EIFS-6	EIFS	"DRYVIT" OUTSULATION SYNTHETIC PLASTER WALL SYSTEM ON 1 1/2" "DRYVIT" INSULATION BOARD. COLOR: "SHERWIN WILLIAMS" SW #7024 - FUNCTIONAL GRAY; SANDPEBBLED TEXTURE	
FC-1	FIBER CEMENT PANELS	NICHIHA, VINTAGEWOOD, SPRUCE, 18"x119 5/16" PLANKS, 18"x3 9/16" OUTSIDE CORNER	METAL CURB FACES: HI GLOSS BLACK; METAL BUMPER FACES: HI GLOSS BLACK; METAL COLUMN FACES: HI GLOSS BLACK; METAL HANDICAP SIGN POSTS: HI GLOSS BLACK;
FI-1	FUEL ISLAND	SHERWIN WILLIAMS CO. INDUSTRIAL ENAMEL SERIES B 54 Z 2 COATS 2 TO 3 MILLS/COAT OR PPG INDUSTRIAL ENAMEL GLOSS BLACK 7-809. (2) COATS AT 2 TO 3 MILS DFT. PER COAT	
MT-1	METAL COPING CAP	22 GA. PREFINISHED METAL COPING, COLOR: TO MATCH SHERWIN WILLIAMS SW 7076 CYBERSPACE; MATTE	
MT-2	METAL COPING	"DURO-LAST" S4.70/ TE.87 - "REGAL WHITE"	
MT-3	METAL COPING	"DURO-LAST" SR.26/ TE.87 - "DARK BRONZE"	
MT-4	METAL COPING CAP	22 GA. PREFINISHED METAL COPING, COLOR: TO MATCH SHERWIN WILLIAMS SW 7719 FRESCO CREAM; MATTE	
PT-11	PAINT	RESILIENCE EXTERIOR ACRYLIC LATEX PAINT; COLOR: SW 7067 CYBERSPACE; EGSHELL FINISH	
PTX-1	GUARD POST PAINT	SHERWIN WILLIAMS CO. INDUSTRIAL ENAMEL SERIES B 54 Z SAFETY YELLOW. (NO LEAD) OR PPG INDUSTRIAL ENAMEL 7-808 SAFETY YELLOW	STRAIGHT BOLLARD; "U" SHAPED BOLLARD;
PTX-2	METAL TRIM PAINT (FERROUS)	PRIMER: SHERWIN WILLIAMS. KEM KROMIK UNIVERSAL METAL PRIMER (LOW VOC COMPLIANCE) B 50 NZ 6 BROWN. APPLY ONE (1) COAT AT 3 TO 4 MILS DRY FILM THICKNESS. (DFT) OR: PPG SPEEDHIDE RUST INHIBITIVE PRIMER 6-208 APPLY (1) COAT AT 2 TO 3 MILS DFT. FINISH: SHERWIN WILLIAMS. INDUSTRIAL ENAMEL B 54 Z SERIES. (LOW VOC COMPLIANCE.) COLOR TO MATCH DRYVIT FINISH COAT. APPLY TWO (2) COATS AT 2 TO 3 MILS DFT PER COAT. OR: PPG INDUSTRIAL ENAMEL 7-282. COLOR TO MATCH DRYVIT FINISH COAT. APPLY 2 COATS AT 2 TO 3 MILS DFT. PER COAT	METAL DOORS AND FRAMES; LINTELS;
PTX-3	METAL TRIM PAINT (GALV)	PRIMER: SHERWIN WILLIAMS. GALVITE B 50 W 3 PRIMER AT 2 MILS DFT PER COAT OR: PPG SPEEDHIDE GALVANIZE STEEL PRIMER 6-209 AT 2 MILS DFT. PER COAT FINISH: SHERWIN WILLIAMS. INDUSTRIAL ENAMEL B 54 Z SERIES. (LOW VOC COMPLIANT). APPLY 2 COATS 2 TO 3 MILS DRY PER COAT OR: PPG INDUSTRIAL ENAMEL 7-282. APPLY (2) COATS AT 2 TO 3 MILS DFT. PER COAT	(IF REQUIRED)
PTX-4	METAL TRIM PAINT (POWDER COAT)	TIGER DRYLAC - EXTERIOR/ INTERIOR GRADE POWDER COAT - MATCH PMS 109C, FINISH: HIGH GLOSS	WINDOW FRAME ACCENT COLOR; TIGER DRYLAC CUSTOMER SERVICE P: 866-898-4437 E: CUSTOMERSERVICE.US@TIGER-COATING.US

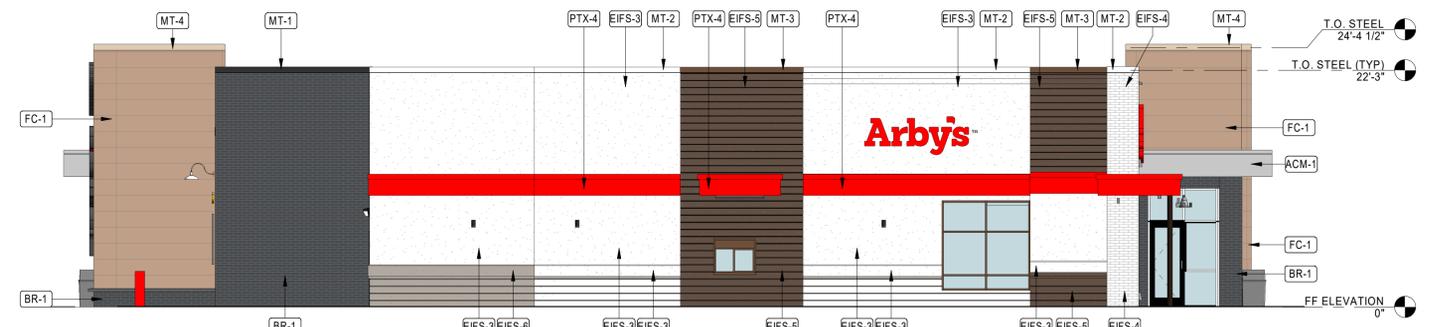
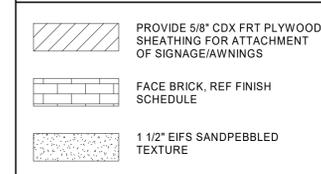
**GENERAL NOTES**

- MASONRY EXPANSION JOINTS IN BRICK FINISHES SHALL BE AT ALL INTERIOR CORNERS AND SPACED PER SPECIFICATIONS. REF DETAIL ON SHEET A313
- ALL EXTERIOR LIGHTING SHALL BE CENTERED ON EXTERIOR DOORS, UNO

**PANAFLEX/ ACM PANEL LEGEND:**



**LEGEND**



**4 LEFT ELEVATION**  
1/8" = 1'-0"



**3 RIGHT ELEVATION**  
1/8" = 1'-0"



**2 REAR ELEVATION**  
1/8" = 1'-0"



**1 FRONT ELEVATION**  
1/8" = 1'-0"

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**Loves**

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**EXTERIOR ELEVATIONS**

SHEET: **A201**

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3/10/2021 EXTERIOR ELEVATIONS

**GENERAL NOTES**

"NICHHA" CANYON BRICK - SHALE BROWN  
 "NICHHA" KURASTONE-STACKED STONE-MOUNTAIN

GC IS RESPONSIBLE FOR COORDINATING  
 INSTALLATION OF OWNER PROVIDED FIBER CEMENT  
 PANELS BY CERTIFIED NICHHA INSTALLER.

CONTACT NATIONAL ACCOUNT MANAGER =  
 CASSIE SHATTOCK - LOVES@NICHHA.COM  
 P) 678-389-8154

**METAL BUILDING  
 COMPONENT COLORS:**

"ASH GRAY"  
 WALL PANELS AND NICHHA HORIZONTAL TRIM.

"GALLERY BLUE"  
 GUTTERS, RAKE TRIM, DOWNSPOUTS, OHD TRIM,  
 PERSONNEL DOOR TRIM, WINDOW TRIM, AND NICHHA  
 VERTICAL TRIM.

**FINISH LEGEND:**

-  CANYON BRICK SHALE BROWN
-  PRE-FINISHED REVERSE METAL WALL  
PANELS  
COLOR: ASH GRAY
-  KURASTONE MOUNTAIN



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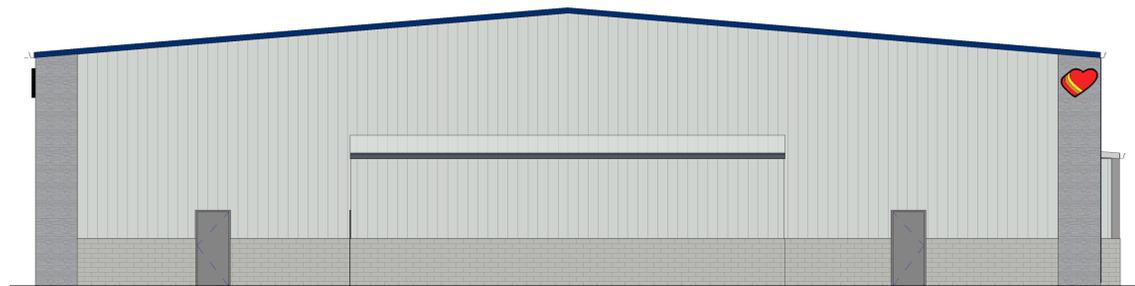
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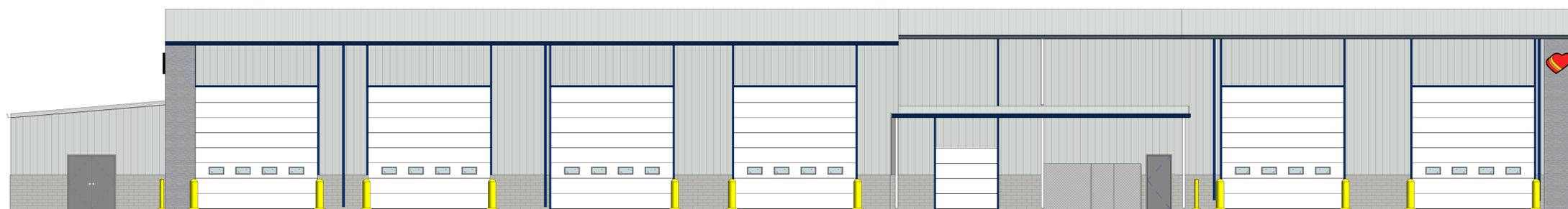
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EXTERIOR  
 ELEVATIONS

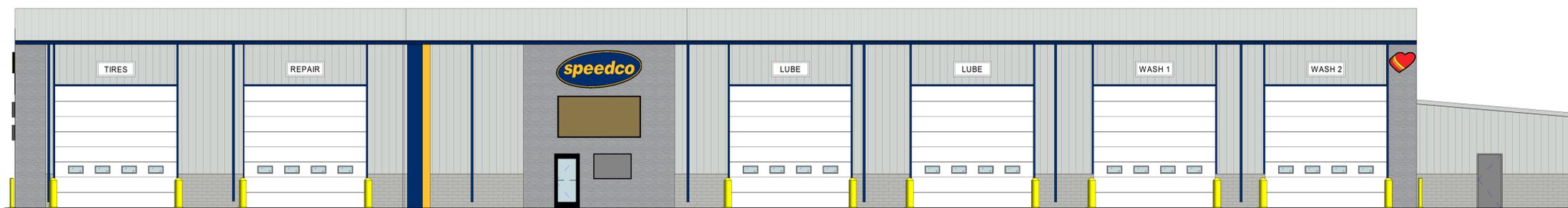
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**4 LEFT ELEVATION**  
 1/8" = 1'-0"



**3 REAR ELEVATION**  
 1/8" = 1'-0"



**2 FRONT ELEVATION**  
 1/8" = 1'-0"



**1 RIGHT ELEVATION**  
 1/8" = 1'-0"

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 870:50401:EXTERIOR ELEVATIONS

## LOVE'S SIGN PACKAGE - ELLISTON, VA

		SIGN SQ. FT.	
<b>HI-RISE SIGN:</b>	<b>190' OAH</b>		
	8' x 10' Heart - LED	80.00	
	9' x 22' Love's	198.00	
	15' x 16' 6½" Arby's (B-18)	248.13	
	11' x 41' 6" Price Sign - 89" Numeral	456.50	
	9' x 20' 7" Speedco	185.25	
	<b>TOTAL HI-RISE SQUARE FEET:</b>	<b>1167.88</b>	
<b>STREET SIGN:</b>	<b>25' OAH</b>		
	13' 10" x 10' Loves / Price Sign / Arby's	138.33	
	3' 6" x 8' Speedco	28.00	
	<b>TOTAL STREET SIGN SQUARE FEET:</b>	<b>166.33</b>	
<b>BUILDING SIGNS:</b>	<b>FRONT ELEVATION:</b>		
	5' x 6' 4" Heart	31.67	
	3' 6" x 11' 8" Love's	40.84	
	2' 7-5/8" x 9' 10¼" Arby's Letters	35.67	
	9' x 11' 6" Heart - Stucco Architectural Element	103.50	
	10" It's the love that drives us.	12.08	
		<b>TOTAL FRONT ELEVATION SQUARE FEET:</b>	<b>223.76</b>
	<b>LEFT ELEVATION:</b>		
	66" x 72 ¾" Arby's logo	33.34	
		<b>TOTAL LEFT ELEVATION SQUARE FEET:</b>	<b>33.34</b>
	<b>REAR ELEVATION:</b>		
	5' x 6' 4" Heart	31.67	
	3' 6" x 11' 8" Love's	40.84	
	12' 6" x 16' Heart - Stucco Architectural Element	200.00	
	12-5/8" Driven by love, fueled by you.	17.45	
	<b>TOTAL REAR ELEVATION SQUARE FEET:</b>	<b>289.96</b>	
	<b>TOTAL BUILDING SIGN SQUARE FEET:</b>	<b>547.06</b>	
<b>SPEEDCO BUILDING SIGNS:</b>	<b>FRONT ELEVATION:</b>		
	5' x 11' 5" Speedco	57.08	
	33" x 42" Heart	9.63	
	5' 5" x 10' 3" Digital Display	55.52	
		<b>TOTAL FRONT ELEVATION SQUARE FEET:</b>	<b>122.23</b>
	<b>RIGHT ELEVATION:</b>		
	5' x 11' 5" Speedco	57.08	
	33" x 42" Heart	9.63	
	2' x 6' ½" Michelin	12.08	
	2' x 6' ½" Bridgestone	12.08	
	2' x 6' ½" Good Year	12.08	
	2' x 6' ½" Yokohama	12.08	
		<b>TOTAL RIGHT ELEVATION SQUARE FEET:</b>	<b>115.03</b>
	<b>REAR ELEVATION:</b>		
	33" x 42" Heart	9.63	
		<b>TOTAL REAR ELEVATION SQUARE FEET:</b>	<b>9.63</b>
	<b>LEFT ELEVATION:</b>		
	33" x 42" Heart	9.63	
	<b>TOTAL LEFT ELEVATION SQUARE FEET:</b>	<b>9.63</b>	
	<b>TOTAL SPEEDCO BUILDING SIGN SQUARE FEET:</b>	<b>256.52</b>	
<b>FUEL CANOPIES:</b>	<b>GAS CANOPY LOGOS:</b>		
	2' 3½" x 10' 2½" Vinyl Logo - North Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - East Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - South Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - West Elevation	23.39	
	<b>DIESEL CANOPY LOGOS:</b>		
	2' 3½" x 10' 2½" Vinyl Logo - North Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - East Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - South Elevation	23.39	
	2' 3½" x 10' 2½" Vinyl Logo - West Elevation	23.39	
	<b>TOTAL FUEL CANOPY LOGO SQUARE FEET:</b>	<b>187.12</b>	
<b>DIRECTIONAL SIGNS:</b>	4' x 8' Love's Directional	32.00	
	4' x 8' Love's Directional	32.00	
	1' 3" x 3' 1" Arby's Directional	3.90	
	1' 3" x 3' 1" Arby's Directional	3.90	
		<b>TOTAL DIRECTIONAL SQUARE FEET:</b>	<b>71.80</b>
<b>CAT SCALE SIGNS:</b>	5' 4½" x 20' Cat Scale Sign	107.50	
	2' 5 ½" x 3' ½" Cat Scale Sign	7.48	
		<b>TOTAL CAT SCALE SQUARE FEET:</b>	<b>114.98</b>
	<b>TOTAL SQUARE FOOTAGE:</b>	<b>2511.69</b>	



DATE:		DATE:	BY:		DATE:	BY:
**01/04/22	REV. #1			REV. #5:		
DRAWN BY:	REV. #2			REV. #6:		
JLW	REV. #3			REV. #7:		
	REV. #4			REV. #8:		

# LOVE'S HI-RISE SIGN ~ ELLISTON, VA

OVERALL HEIGHT: 190'

TOTAL SQ. FT.: 1167.88

8' X 10' LED HEART = 80 SQ. FT.

9' X 22' LOVE'S = 198 SQ. FT.

11' X 41' 6" PRICE SIGN = 456.5 SQ. FT.

- 89" NUMERALS

15' X 16' 6 1/2" ARBY'S B-18 = 248.13 SQ. FT.

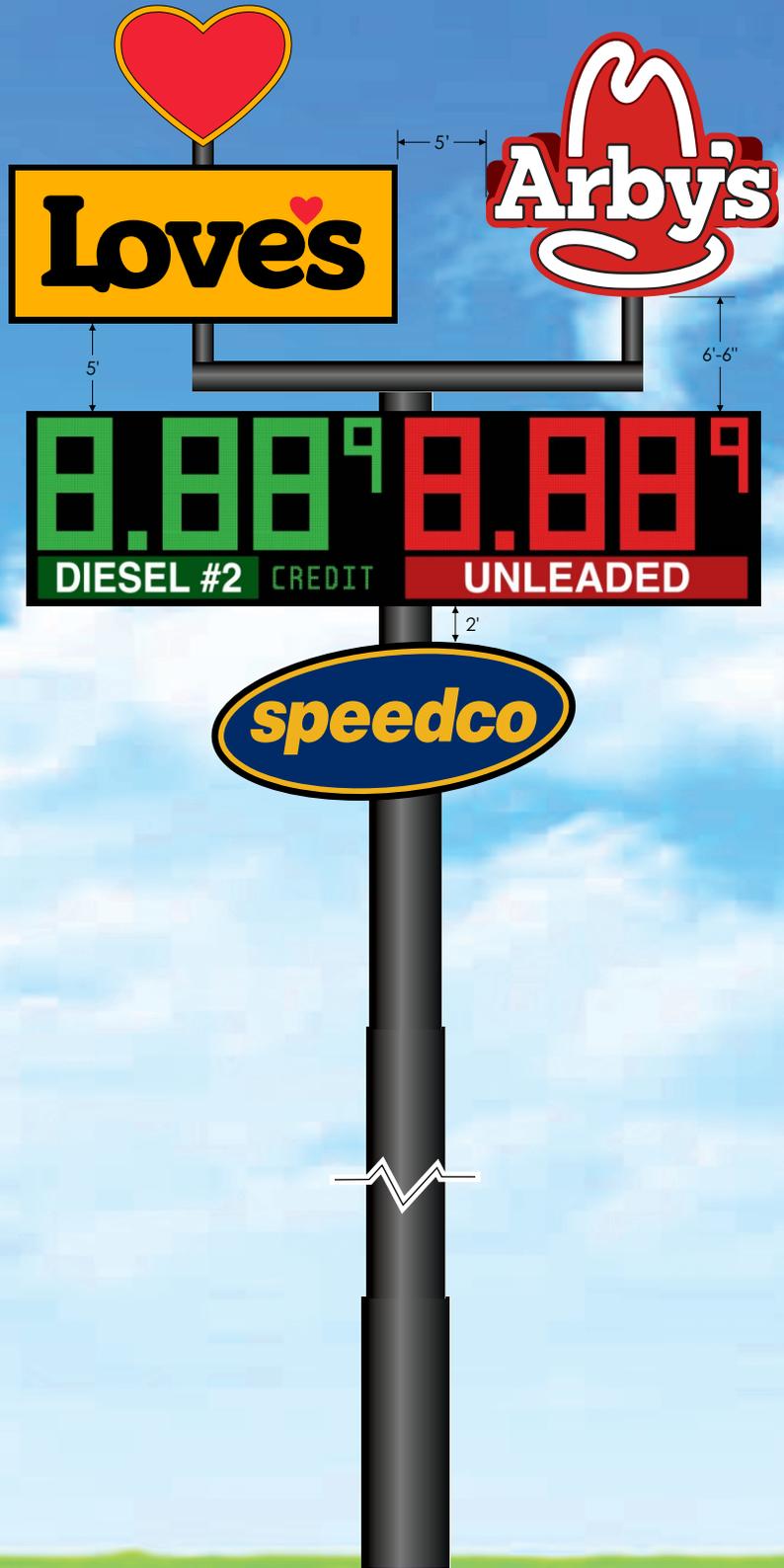
9' X 20' 7" SPEEDCO = 185.25 SQ. FT.

145' FROM BOTTOM OF SPEEDCO SIGN TO GRADE

LOVE'S & DIESEL INSTALLED TOWARDS INTERSTATE / HIGHWAY



SIDE B  
\* NOT TO SCALE



\*\* NOTE: PRODUCT PANEL COPY AND NUMERAL DETAILS TO BE CONFIRMED BY OTHERS.

ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:
ELLISTON, VA	1/4/23	EI82301-0401	0	3/32" = 1'	JLW

**effective**  
**images**.inc.  
PHONE: 605.753.9700

# LOVE'S STREET SIGN ~ ELLISTON, VA

<b>OVERALL HEIGHT: 25'</b>	<b>TOTAL SQ. FT.: 166.33</b>
13' 10" X 10' LOVE'S / PRICE SIGN / ARBY'S = 138.33 SQ. FT.	
- 24" NUMERALS ON PRICE SIGN	
3' 6" x 8' SPEEDCO = 28 SQ. FT.	
7' 2" FROM BOTTOM OF SPEEDCO TO GRADE	
UNLEADED INSTALLED TOWARDS ROAD	



SIDE B  
\* SCALE: 1/8" = 1'



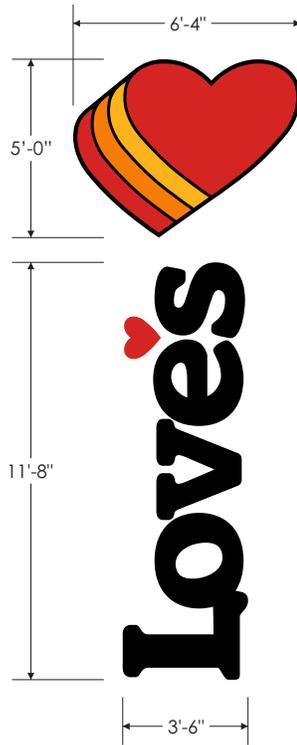
\*\* NOTE: PRODUCT PANEL COPY AND NUMERAL DETAILS TO BE CONFIRMED BY OTHERS.

ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:
ELLISTON, VA	1/4/23	EI82301-0402	0	1/4" = 1'	JLW
			.		

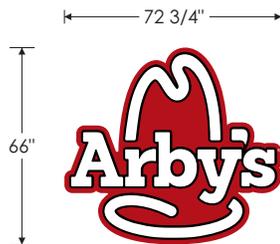
**effective**  
**images**.inc.  
PHONE: 605.753.9700

# LOVE'S BUILDING SIGNS ~ ELLISTON, VA



Qty (1) Front elevation  
 Qty (1) Rear elevation  
 LED Illuminated  
 (31.67 Sq. ft./sign)

Qty (1) Front elevation  
 Qty (1) Rear elevation  
 LED Illuminated  
 (40.84 Sq. ft./sign)



Qty (1) Front elevation  
 LED Illuminated  
 (33.34 Sq. ft./sign)

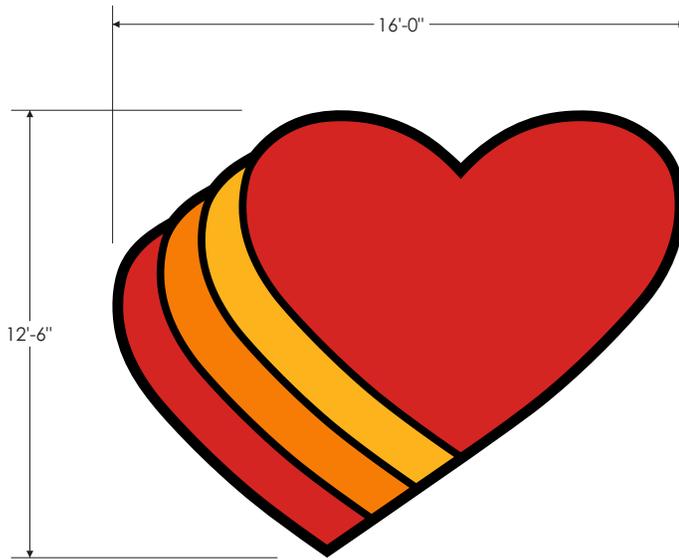


Qty (1) Left elevation  
 LED Illuminated  
 (35.67 Sq. ft./sign)

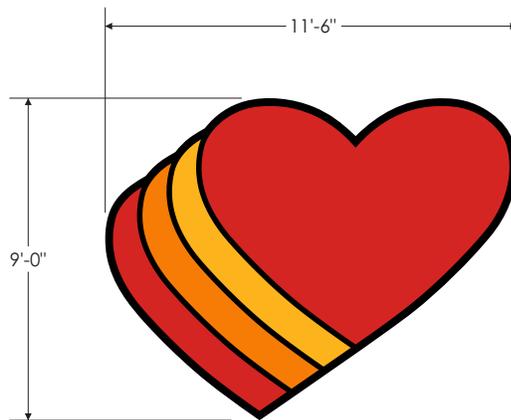
\*\* ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	 PHONE: 605.753.9700
ELLISTON, VA	1/4/23	EI82301-0403	0	3/16" = 1'	JLW	

# LOVE'S BUILDING SIGNS ~ ELLISTON, VA



Qty (1) Rear elevation  
Externally Illuminated  
(200 Sq. ft./sign)



Qty (1) Front elevation  
Externally Illuminated  
(103.50 Sq. ft./sign)



Qty (1) Front elevation  
(12.08 Sq. ft./sign)

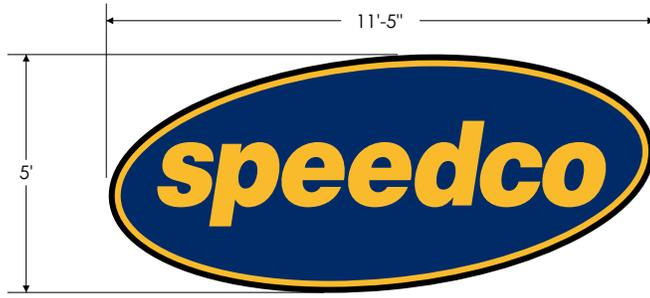


Qty (1) Rear elevation  
(17.45 Sq. ft./sign)

\*\* ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	 PHONE: 605.753.9700
ELLISTON, VA	1/4/23	EI82301-0404	0	3/16" = 1'	JLW	

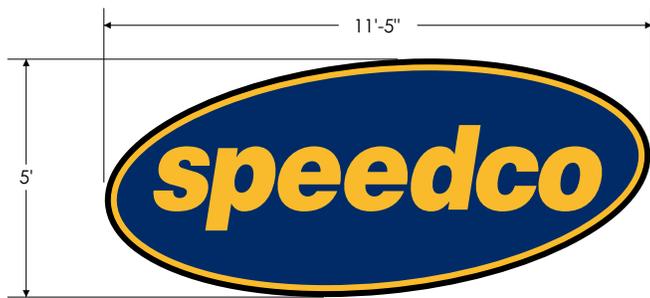
# SPEEDCO BUILDING SIGNS ~ ELLISTON, VA



Qty (1) Front elevation  
LED Illuminated  
(57.08 Sq. ft.)



Qty (1) Front elevation  
Digital Display  
(55.52 Sq. ft.)

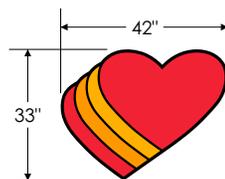


Qty (1) Right elevation  
LED Illuminated  
(57.08 Sq. ft.)



6'-0 1/2"

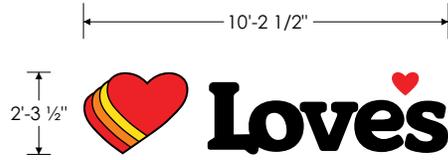
Qty (4) Right elevation  
LED Illuminated  
(12.08 Sq. ft. per sign)  
(48.32 Total sq. ft.)



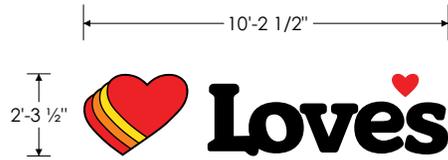
Qty (1) Front elevation  
Qty (1) Right elevation  
Qty (1) Left elevation  
Qty (1) Rear elevation  
LED Illuminated  
(9.63 Sq. ft. ea.)

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:
ELLISTON, VA	1/4/23	EI82301-0405	0	1/4" = 1'	JLW

# LOVE'S FUEL CANOPY LOGOS ~ ELLISTON, VA

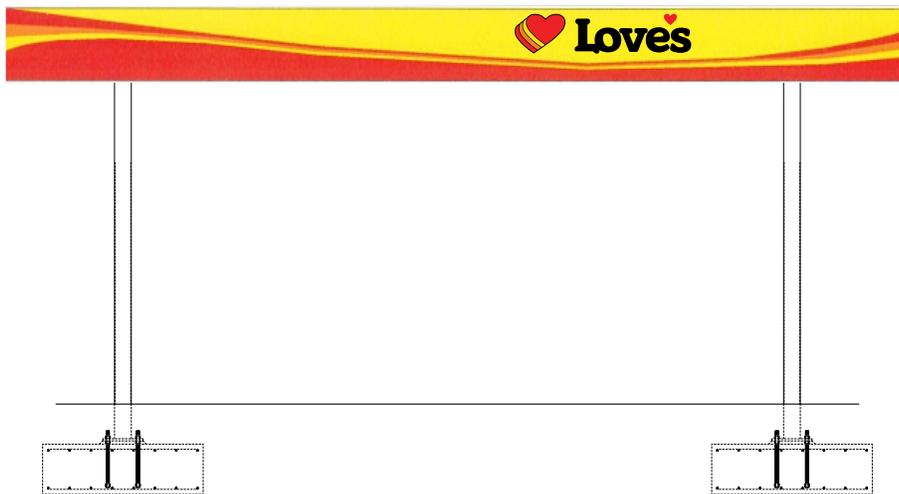


Qty (4) Gas Canopy Logos  
(23.39 Sq. ft./sign)



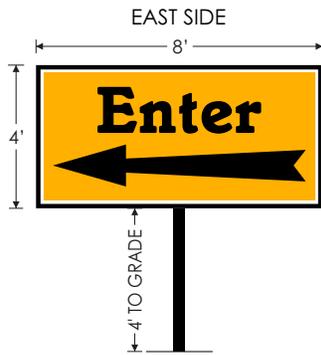
Qty (4) Diesel Canopy Logos  
(23.39 Sq. ft./sign)

Gas / Diesel Canopy illustration

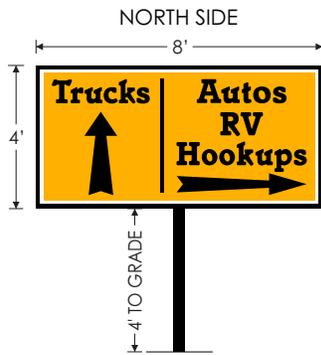


LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:
ELLISTON, VA	1/4/23	EI82301-0406	0	3/16" = 1'	JLW

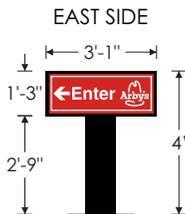
# LOVE'S DIRECTIONAL SIGNS ~ ELLISTON, VA



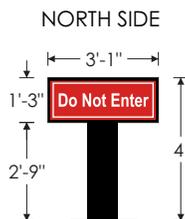
Love's Directional Sign #1  
at Main Entrance  
(copy may vary)  
LED Illuminated  
(32 Sq. ft./sign)



Love's Directional Sign #2  
at Auto Entrance  
(copy may vary)  
LED Illuminated  
(32 Sq. ft./sign)



Arby's Directional Sign #3  
at Drive-Thru Entrance  
(copy may vary)  
LED Illuminated  
(3.9 sq. ft./sign)



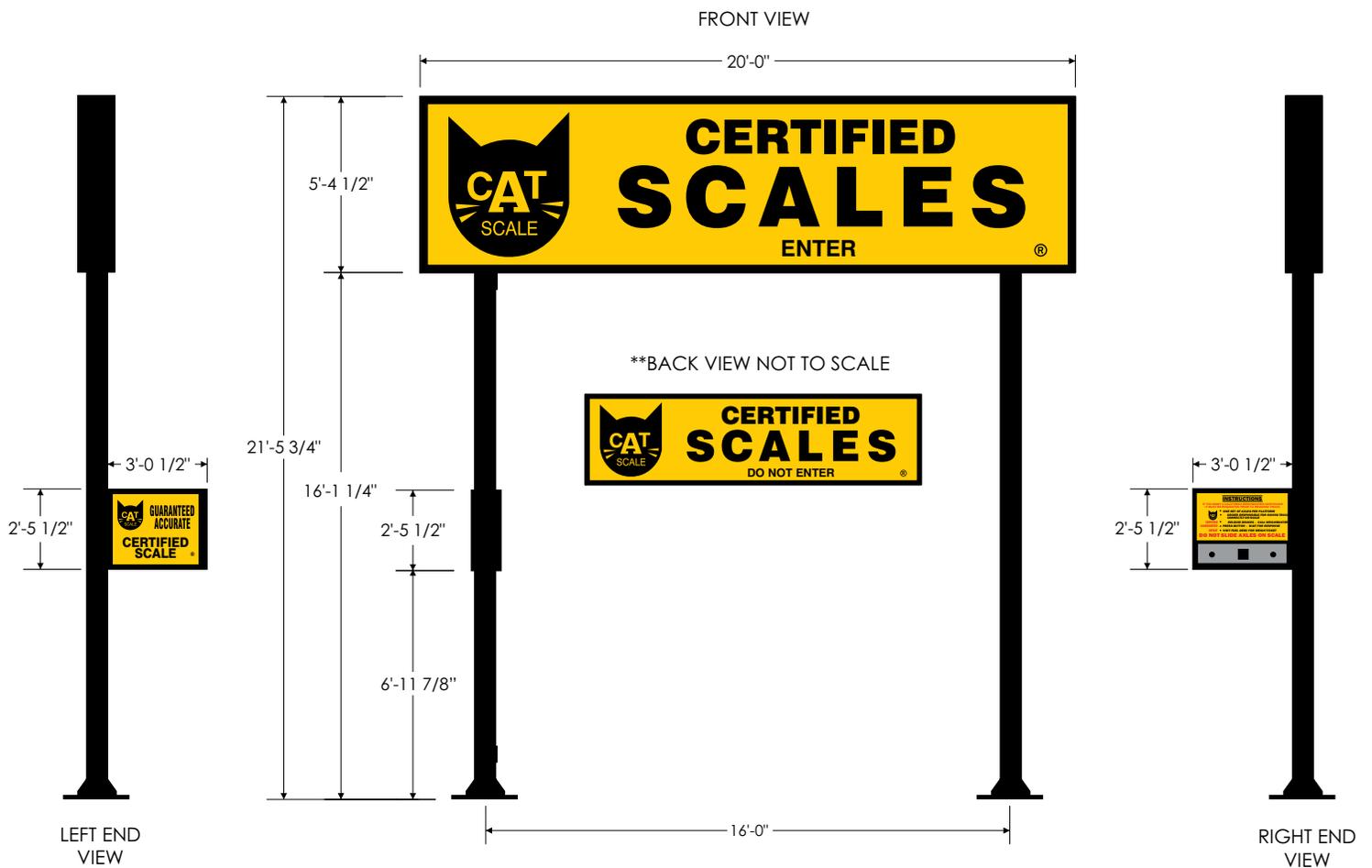
Arby' Directional Sign #4  
at Drive-Thru Exit  
(copy may vary)  
LED Illuminated  
(3.9 sq. ft./sign)

\*\* ALL SIGN GRAPHICS ARE FOR REPRESENTATION PURPOSES ONLY. MANUFACTURER IS RESPONSIBLE FOR WRITTEN FRANCHISE APPROVAL TO VERIFY SIGN LAYOUTS AND MANUFACTURE SPECIFICATIONS.

LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	 PHONE: 605.753.9700
ELLISTON, VA	1/4/23	EI82301-0407	0	3/16" = 1'	JLW	

# CAT SCALE SIGNS ~ ELLISTON, VA

<b>OVERALL HEIGHT: 21' 5<sup>3</sup>/<sub>4</sub>"</b>	<b>TOTAL SQ. FT.: 114.98</b>
5' 4 <sup>1</sup> / <sub>2</sub> " X 20' CAT SCALE SIGN = 107.5 SQ. FT.	
2' 5 <sup>1</sup> / <sub>2</sub> " X 3' 1 <sup>1</sup> / <sub>2</sub> " SPEAKER POST SIGN = 7.48 SQ. FT.	
16' 1 <sup>1</sup> / <sub>4</sub> " FROM GRADE TO BOTTOM OF CAT SCALE	



LOCATION:	DATE:	DRAWING #:	REVISION # / DATE:	SCALE:	DRAWN BY:	 PHONE: 605.753.9700
ELLISTON, VA	1/4/23	EI82301-0408	0	NOT TO SCALE	JLW	

STREET SIGN

HI-RISE SIGN

LEGEND

- EXISTING
  - REFER TO ALTANSPS TOPOGRAPHIC SURVEY
- PROPOSED
  - CONCRETE CURB AND GUTTER
  - PAVEMENT
  - 6' TREX FENCE (REF. ARCH PLANS)
  - 5' CHAIN-LINK FENCE (REF. ARCH PLANS)
  - 4' BLACK CHAIN-LINK FENCE (REF. ARCH PLANS)
  - NUMBER OF PARKING STALLS

SITE REQUIREMENTS:

- BUILDING SETBACKS: FRONT YARD - 35', REAR YARD - 10', RIGHT YARD - 10', LEFT YARD - 35'
- PARKING SETBACKS: FRONT YARD - 8', REAR YARD - 8', RIGHT YARD - 8', LEFT YARD - 8'
- SIGN SETBACKS: 10' (FREESTANDING) / 40' (HI-RISE)
- STANDARD PARKING DIMENSIONS: 9'Wx15'L
- MINIMUM DRIVE AISLE: 24'
- PARKING REQUIRED: LOVE'S COUNTRY STORE: (4) SPACES PER 1000 S.F. OF GROSS LEASABLE AREA, 10,200 S.F. = 41 SPACES  
RESTAURANT: (1) SPACE PER 50 S.F. OF PATRON USE SPACE, RESTAURANT = 3,020 SF x (1/50) = 61 SPACES  
TOTAL PARKING REQUIRED = 102 SPACES

SITE ANALYSIS:

- PROPOSED BUILDING AREA: LOVE'S COUNTRY STORE: 10,200 S.F., ATTACHED RESTAURANT: 3,020 S.F., TIRE SHOP: 12,870 S.F., TRUCK WASH: 4,800 S.F., TOTAL: 30,890 S.F.
- PARKING PROVIDED: PARKING DIMENSIONS: VARIES  
(4) ADA PARKING SPACES  
(78) STANDARD CAR PARKING SPACES  
(11) RV PARKING SPACES  
(10) TRUCK PARKING SPACES  
112 TOTAL PARKING SPACES
- LOT COVERAGE: MAXIMUM BUILDING ALLOWED: 40%, PROPOSED: 2.6% (30,890 S.F. / 1,144,556 S.F.), MAXIMUM IMPERVIOUS ALLOWED: 65%, PROPOSED: 43% (470,246 S.F. / 1,144,556 S.F.)



LOVE'S TRAVEL STOPS  
**ELLISTON, VA**  
 5241 NORTH FORK ROAD  
 ELLISTON, VIRGINIA 24087

Revisions / Submissions		
ID	Description	Date

© 2022 CESO, INC.  
 Project Number: 760523  
 Scale: 1" = 60'  
 Drawn By: ECH  
 Checked By: JTK  
 Date: 8/22/2022  
 Issue: REZONING SUBMITTAL  
 Drawing Title: OVERALL SITE PLAN

ALL SIGN LOCATIONS ARE APPROXIMATE.  
 TO BE VERIFIED BY THE ARCHITECT AND  
 LOVE'S REPRESENTATIVE.



W:\PROJECTS\LOVES\760523 - Elliston, VA\0-CIVIL\PLAN\LOT760523\_OVERALL SITE PLAN.dwg - 8/18/2022 - Echa Howard

**Z2.0**





January 2<sup>nd</sup>, 2023

**Re:** Sign Survey – Elliston, VA  
**Property Location:** Southeast quadrant of I-81 and North Fork Road intersection; Exit 128  
**Survey Date:** November 21<sup>st</sup>, 2022  
**Blimp Information:** Located on the Southwest corner of the property, 180' OAH  
Latitude: 37.23194 / Longitude: 80.23656 / Google Earth Elevation: 1248'

The blimp used in this survey was at 180' OAH located on the property's southwest corner. The Hi-Rise Sign superimposed in this survey reflects a structure that is 190' OAH located at the same spot – coordinates noted above for the specific location.

Westbound traffic will have their initial full read on the sign at approximately 1.5 miles from the exit but then lose it behind trees as they travel from 1.4 miles to 0.1 miles from the exit. They will have a full read on the sign once again from 0.1 miles until they reach the off-ramp exit.

Eastbound traffic will have their initial read of the Hi-Rise sign as they approach 0.5 miles from the exit. At 0.4 miles from the exit, they will have a read on the very top of the sign before it disappears behind trees for the rest of their travel toward the exit. It's worth noting, depending on the time of year/season, traffic may have a partial read on the sign at 0.6 miles from the exit through the trees without leaves.

The property is located within the County and the sign code is as follows:

**Hi-Rise Signs:** For properties located within 1/4 mile of the intersection of an interstate ramp with a state or county road, an additional freestanding high-rise sign up to 40 feet in height shall be allowed when the following requirements are met:

- There shall be no more than 1 high rise per parcel.
- The parcel shall be 3 acres or larger in size.
- The high-rise sign shall have no more than 4 individual signs and shall not exceed 500 square feet in area.

**Setback:** Min. 40 feet to the property line.

**Note:** Special use permit approval is needed for greater height and area.

**Freestanding:** 1 freestanding or monument sign. 12 feet OAH and 150 sq. ft. in area.

**Wall Signs:** Not addressed in the sign code.

**Directional Signs:** Not addressed in the sign code.

We would propose a sign that is 190' OAH located at the Southwest corner of the property as noted above. This will provide the best read on the sign for both Westbound and Eastbound traffic. A special use permit will be required for the proposed Hi-Rise sign, for both overall height and overall signage area.

A preliminary filing with the FAA was submitted and we were given a no-hazard determination for the proposed sign structure's height and location. No additional follow-up will be required, however, any height and/or location change of the structure would require a new filing to confirm compliance with the FAA requirements.

Once you have had a chance to review the information, please let us know if you have any questions.

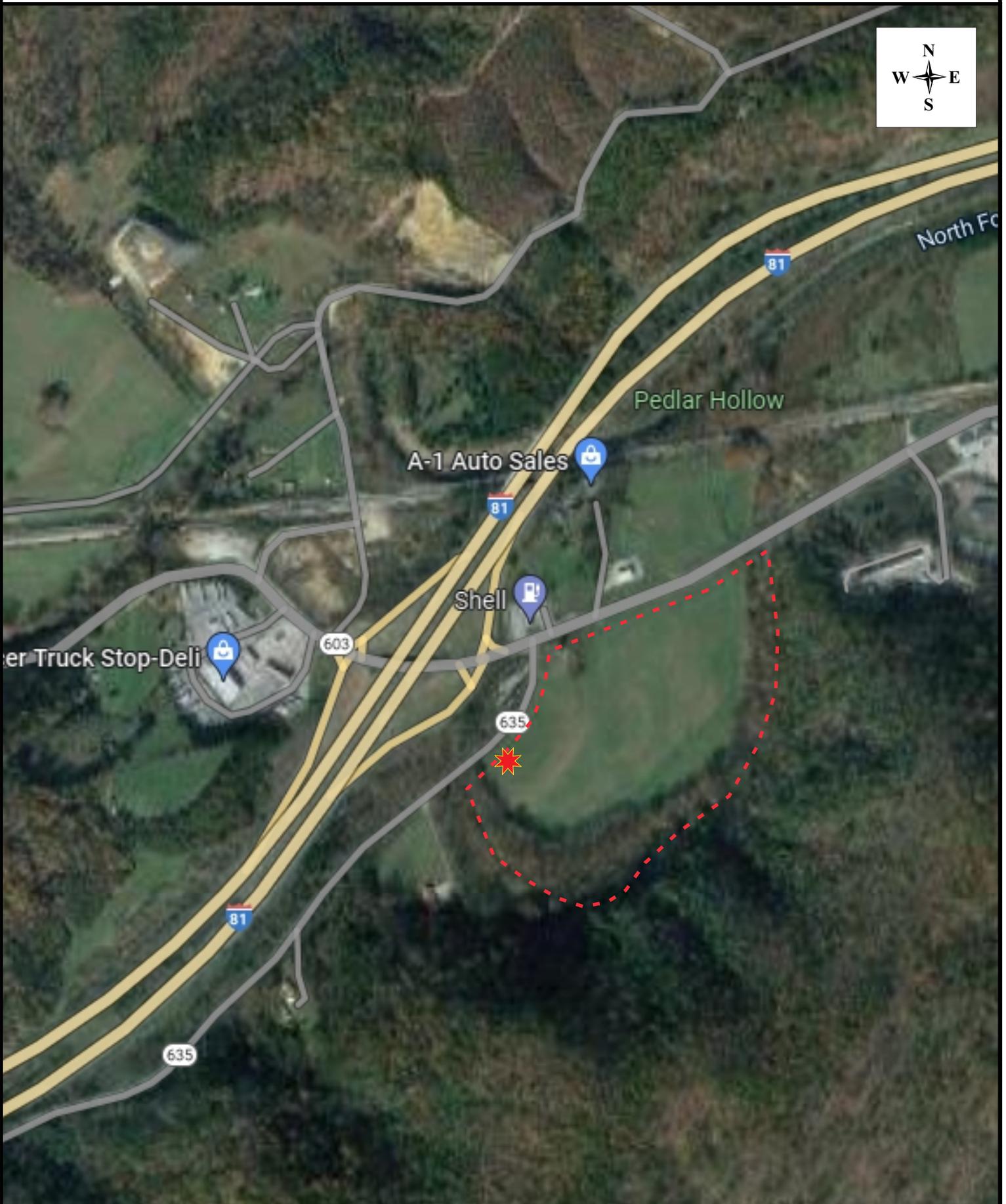
Thank You,



Kevin Keup  
Effective Images, Inc.

Emailed: Greg Love, Rick Shuffield, Frank Ille, Kari Keup, Betty Torstenson, Casey Bren

# ELLISTON, VA

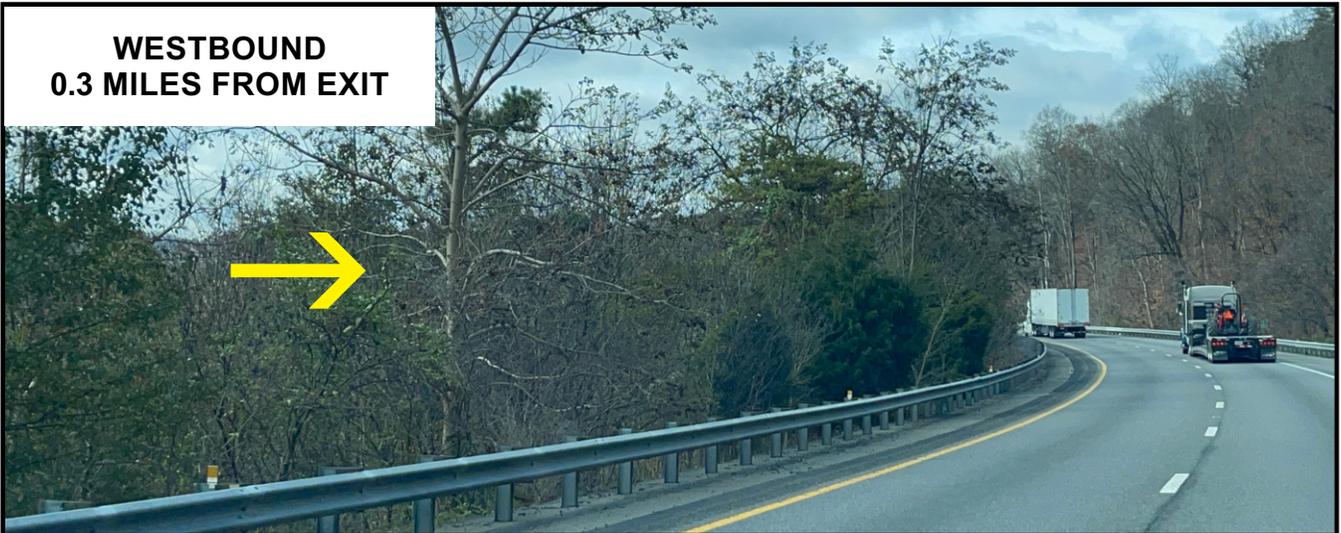


★ = BLIMP & RECOMMENDED SIGN LOCATION

**WESTBOUND  
1.5 MILES FROM EXIT**



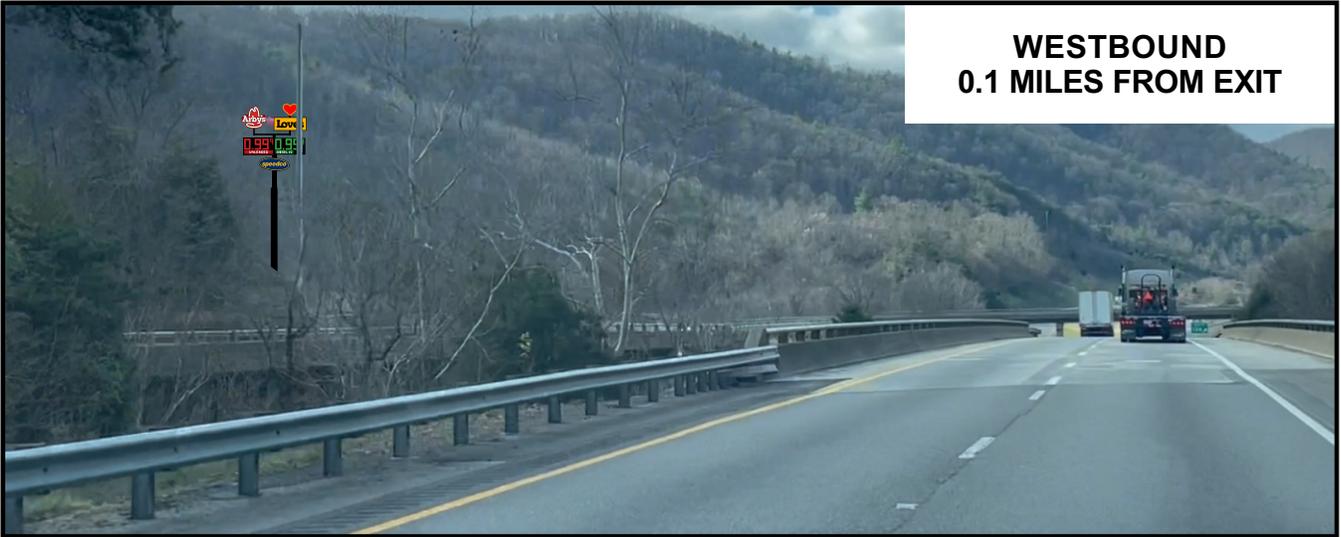
**WESTBOUND  
0.3 MILES FROM EXIT**



**WESTBOUND  
0.2 MILES FROM EXIT**



**WESTBOUND  
0.1 MILES FROM EXIT**



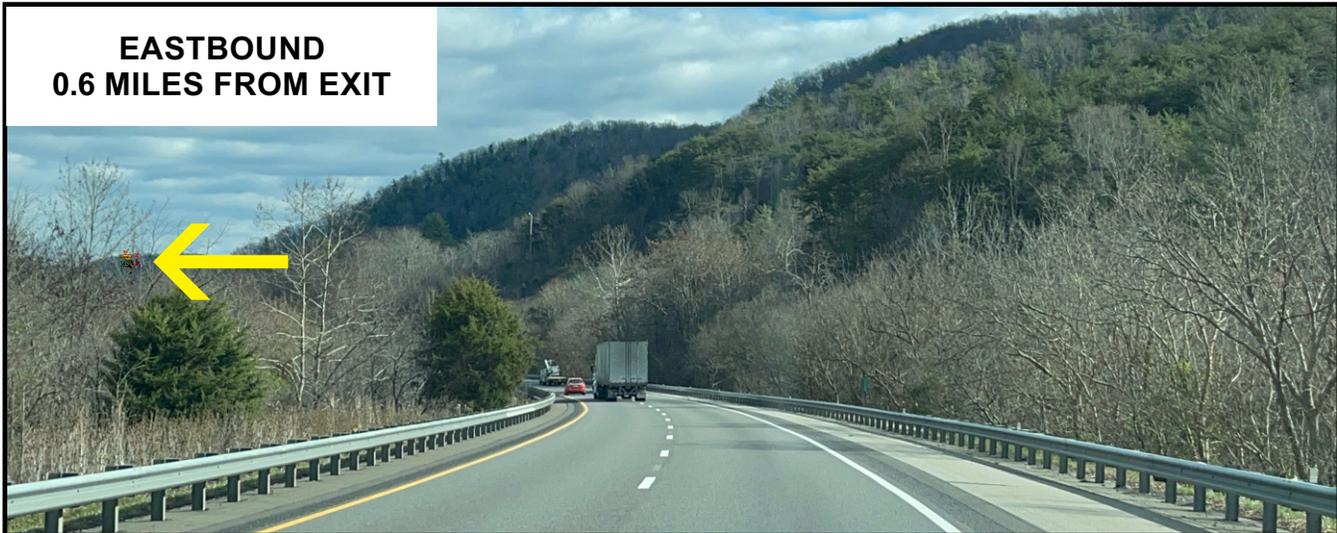
**WESTBOUND  
AT EXIT**



**EASTBOUND  
0.7 MILES FROM EXIT**



**EASTBOUND  
0.6 MILES FROM EXIT**



**EASTBOUND  
0.5 MILES FROM EXIT**



**EASTBOUND  
0.4 MILES FROM EXIT**



**EASTBOUND  
0.3 MILES FROM EXIT**



**EASTBOUND  
0.2 MILES FROM EXIT**



Overall Height: 190'  
 Total Square Feet: 1167.88

Love's Hi Rise



8' x 10' Love's  
 Led Heart  
 (80 Sq. Ft.)

1' Separation

9' x 22' Love's  
 (198 Sq. Ft.)

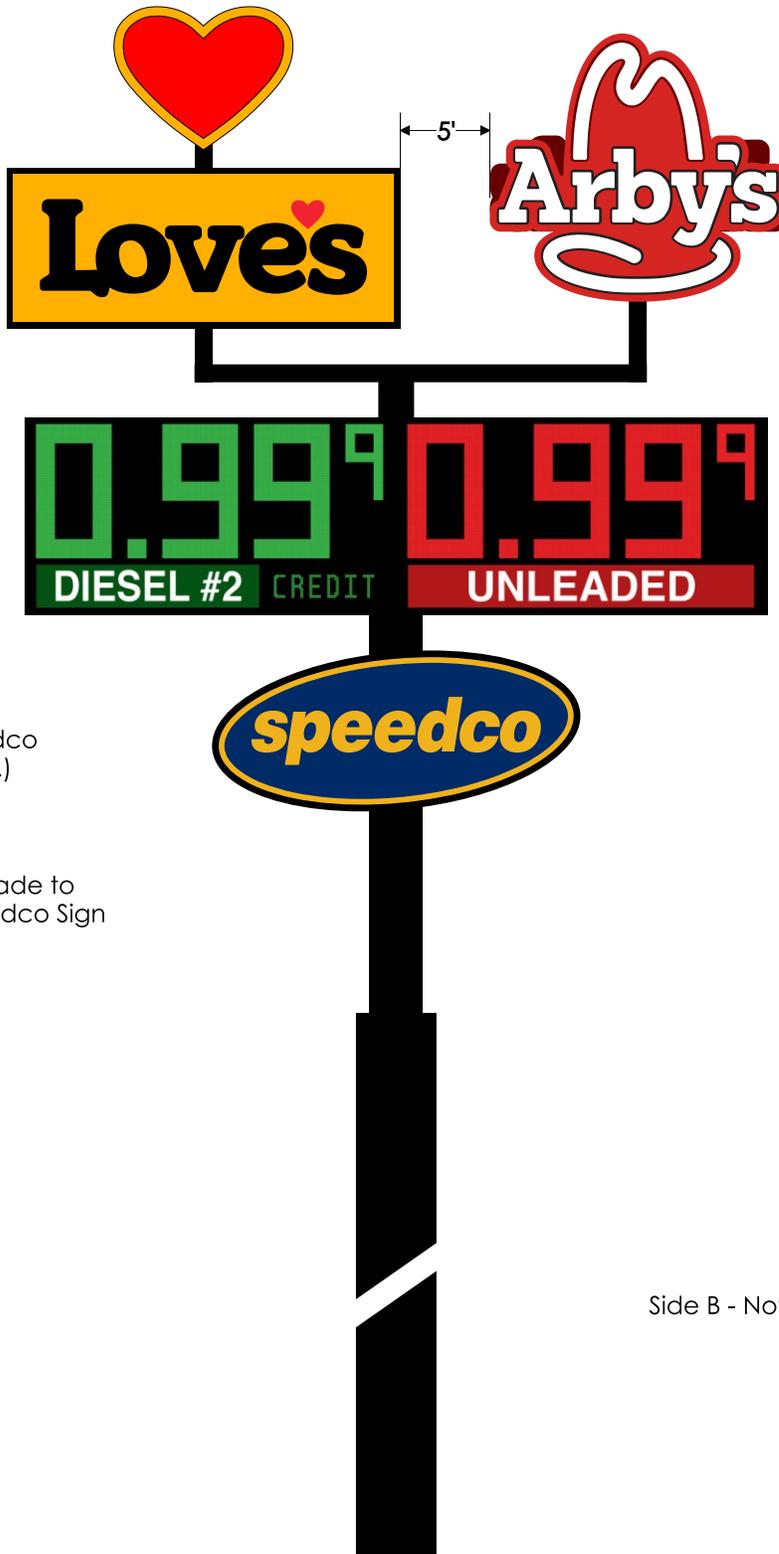
5' Separation

11' x 41' 6"  
 Price Sign  
 By Sunshine  
 89" Numerals  
 (456.5 Sq. Ft.)

2' Separation

9' x 20' 7" Speedco  
 (185.25 Sq. Ft.)

145' From Grade to  
 Bottom of Speedco Sign



15' x 16' 6 1/2"  
 Arby's B-18 Concept  
 Drawing Only  
 (248.13 Sq. Ft.)

6' 6" Separation



Side B - Not To Scale

<b>Client:</b>	Love's
<b>Location:</b>	ELLISTON, VA
<b>Account Rep:</b>	
<b>Drawing #:</b>	
<b>Revision:</b>	
<b>Drawn By:</b>	
<b>Date:</b>	1/4/2023
<b>Scale:</b>	3/32" = 1'
<b>Sales Order #:</b>	.

Computer generated colors in this artwork are not an exact match to the finished sign colors. Material samples are available upon request. This drawing is property of Effective Images. Any reproduction is prohibited.

**Please Sign & Email or Fax to (605) 753-9701**

Diesel, Love's & Led Heart to be Installed Toward Interstate/Highway  
 \*\* Note: Product panel copy and numeral details to be confirmed by others.

**CUSTOMER APPROVAL:** \_\_\_\_\_ **Date:** \_\_\_\_\_

